

PROPOSED SUBDIVISION OF LOT B, DL 358, ODYD, PLAN 24635.

PID: 005-873-479

CIVIC ADDRESS: 709 RAYMER ROAD

CLIENT: MCCLELLAND / LOUGHRAN

This document was prepared for the exclusive use of the client named herein, for subdivision planning purposes.

Lot dimensions shown are derived from field survey measurements and may vary from Land Title Office records.

This document shall not be used to define property lines or corners.

Scale 1:300 Metric.
Distances shown are in metres and decimals thereof.

Notes:

- Unregistered interests have not been included or considered.
- A comprehensive legal survey may result in changes to the dimensions shown on this plan.

2
PLAN
EPP74249

AllTerra
Land Surveying Ltd.

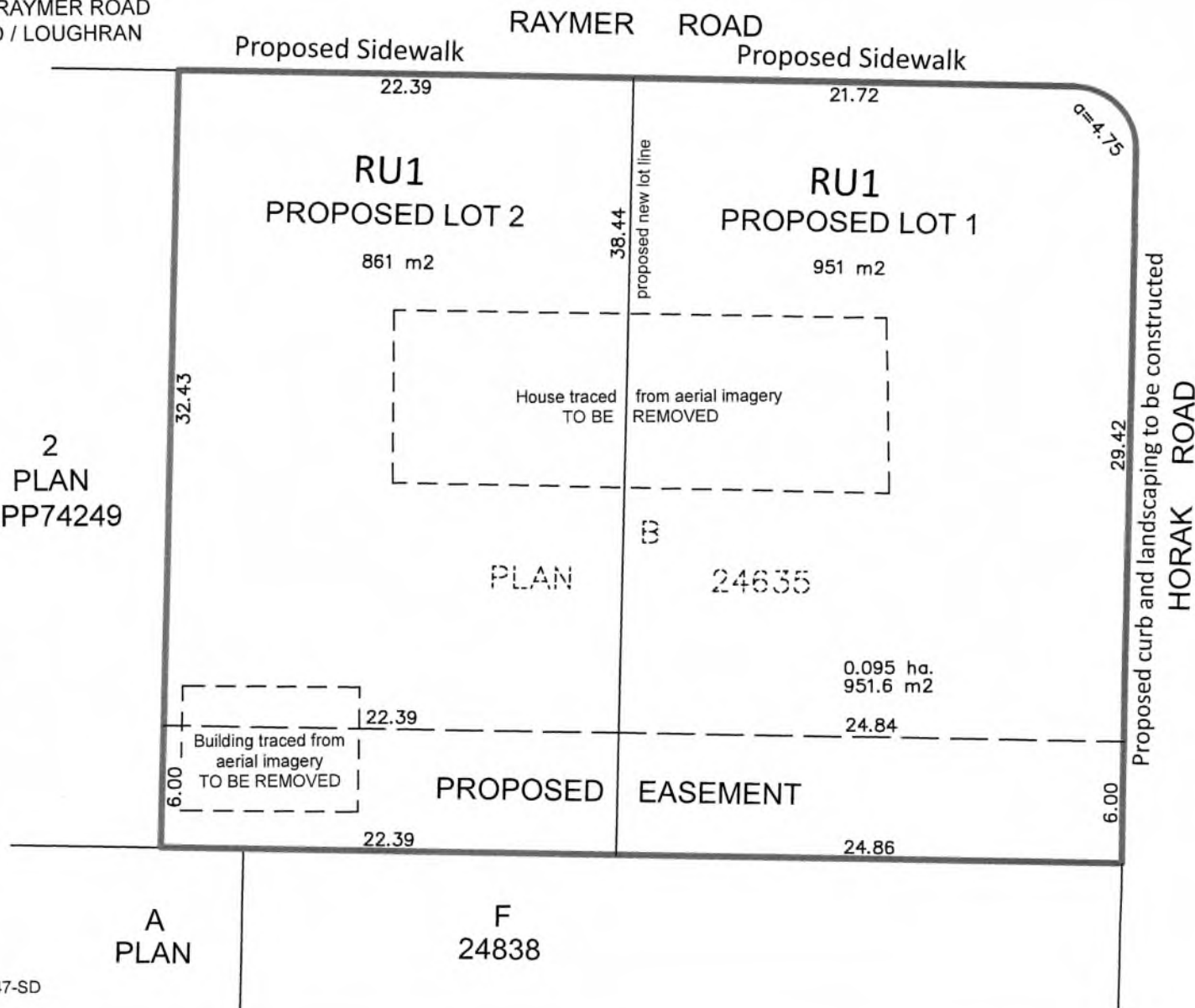
www.AllTerraSurvey.ca

Ph: 250.762.0122 File: 323047-SD

June 30, 2023.

A
PLAN

F
24838



709 RAYMER ROAD, KELOWNA BC



VIEW FROM RAYMER ROAD



VIEW FROM HORAK ROAD



KEYPLAN

SUBJECT
PROPERTY

SHEET SET

DP0	COVER
DP1	SITE/BLOCK PLAN
DP2	SITE GRADING PLAN
DP3	SITE LANDSCAPING PLAN
DP4	ELEVATIONS UNITS A&B
DP5	ELEVATIONS UNITS A&B
DP6	FLOOR PLANS UNITS A&B
DP7	FLOOR PLANS UNITS A&B
DP8	ELEVATIONS UNITS C&D
DP9	ELEVATIONS UNITS C&D
DP10	FLOOR PLANS UNITS C&D
DP11	FLOOR PLANS UNITS C&D
DP12	ELEVATIONS UNITS E&F
DP13	ELEVATIONS UNITS E&F
DP14	FLOOR PLANS UNITS E&F
DP15	FLOOR PLANS UNITS E&F
DP16	ELEVATIONS UNITS G&H
DP17	ELEVATIONS UNITS G&H
DP18	FLOOR PLANS UNITS G&H
DP19	FLOOR PLANS UNITS G&H

SQUARE FOOTAGES

DESCRIPTION	SQ. FT.	DESCRIPTION	SQ. FT.
UNIT A		UNIT E	
MAIN FLOOR	651	MAIN FLOOR	651
SECOND FLOOR	1298	SECOND FLOOR	1298
THIRD FLOOR	278	THIRD FLOOR	278
TOTAL	2227	TOTAL	2227
ROOF TOP DECK	591	ROOF TOP DECK	591
GARAGE	600	GARAGE	600
PORCH	16	PORCH	16
FRONT PATIO	250	FRONT PATIO	250
UNIT B		UNIT F	
MAIN FLOOR	651	MAIN FLOOR	651
SECOND FLOOR	1298	SECOND FLOOR	1311
THIRD FLOOR	278	THIRD FLOOR	278
TOTAL	2227	TOTAL	2240
ROOF TOP DECK	591	ROOF TOP DECK	591
GARAGE	600	GARAGE	600
PORCH	16	PORCH	16
FRONT PATIO	250	FRONT PATIO	250
UNIT C		UNIT G	
MAIN FLOOR	651	MAIN FLOOR	651
SECOND FLOOR	1298	SECOND FLOOR	1298
THIRD FLOOR	278	THIRD FLOOR	278
TOTAL	2227	TOTAL	2227
ROOF TOP DECK	649	ROOF TOP DECK	649
GARAGE	600	GARAGE	600
PORCH	16	PORCH	16
FRONT PATIO	167	FRONT PATIO	167
UNIT D		UNIT H	
MAIN FLOOR	651	MAIN FLOOR	651
SECOND FLOOR	1298	SECOND FLOOR	1311
THIRD FLOOR	278	THIRD FLOOR	278
TOTAL	2227	TOTAL	2240
ROOF TOP DECK	649	ROOF TOP DECK	649
GARAGE	600	GARAGE	600
PORCH	16	PORCH	16
FRONT PATIO	167	FRONT PATIO	167
		GRAND TOTAL MAIN FLRS	5208
		GRAND TOTAL UPPER FLRS	7814
		GRAND TOTAL THIRD FLOOR	2224
		GRAND TOTAL	15246

MATERIALS BOARD

	IXL BRICK VENEER		NORTwood PANEL (OR EQUIVALENT)
	HARDIE BOARD & BATTEN (ARCTIC WHITE)		HARDIE BOARD & BATTEN (MIDNIGHT BLACK)
	HARDIE SIDING (ARCTIC WHITE)		HARDIE PANEL (MIDNIGHT BLACK)
	HARDIE PANEL (ARCTIC WHITE)		HARDIE PANEL (RUSTIC BARN)



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CLIENT:

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DEVELOPMENT
PERMIT SET

REVISION:	DATE: (M/D/Y)
1.	00/00/0000

DRAWING TITLE:

COVER PAGE

PROJECT #:	2024-0709
DATE:	2024.09.24
SCALE:	AS SHOWN
DRAWN BY:	JTD

DRAWING #:

DP0

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REVISION:	DATE: (M/D/Y)
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DRAWING TITLE:

ELEVATIONS

PROJECT #:	2024-0709
DATE:	2024.09.24
SCALE:	AS SHOWN
DRAWN BY:	JTD

DRAWING #:

DP4

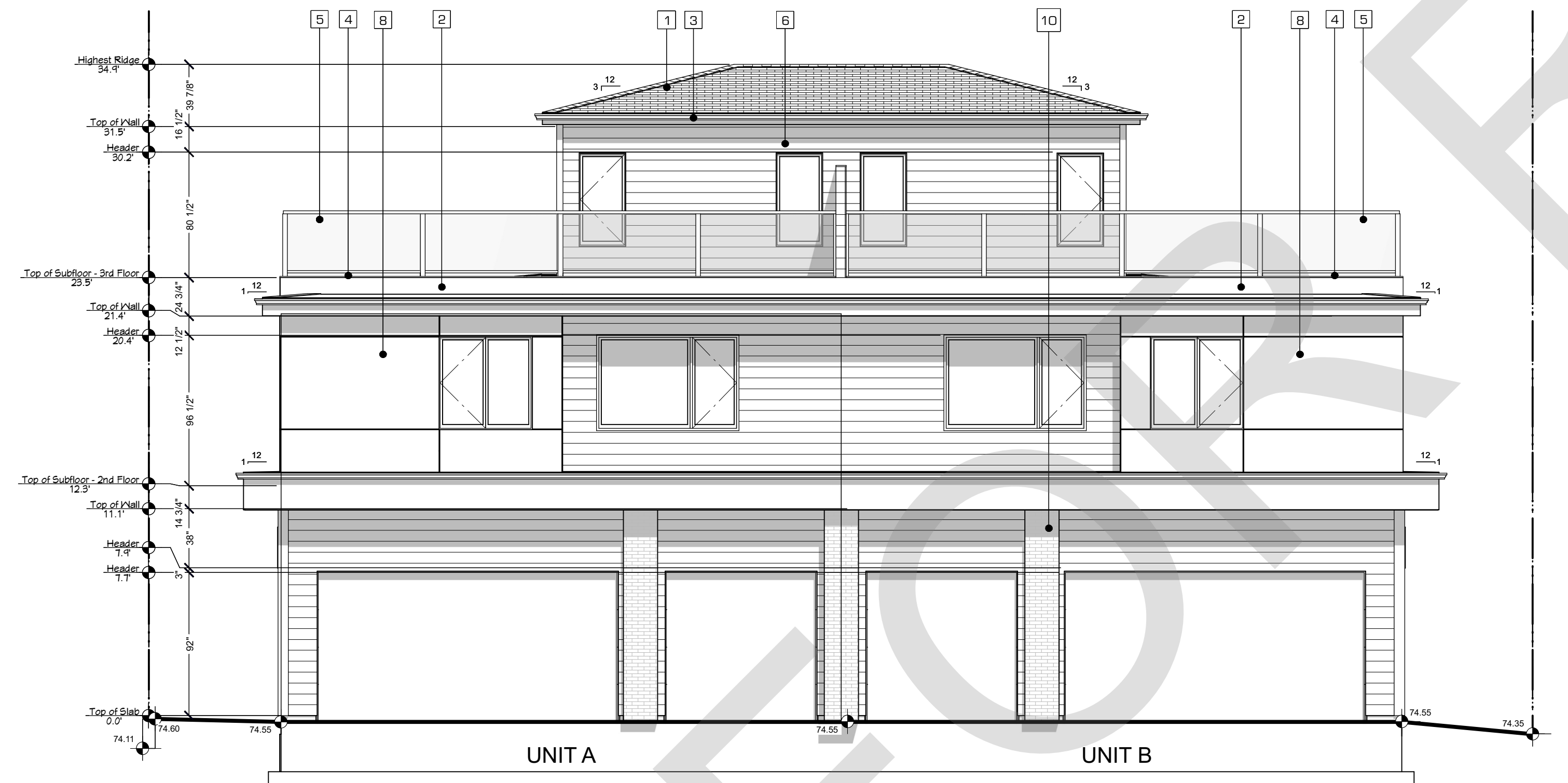
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PROPOSED FRONT (NORTH) ELEVATION (UNITS A/B)

SCALE: 3/16" = 1'-0"



UNPROTECTED OPENINGS - UNIT A			
CODE CHECK			
EXPOSED BUILDING FACE	654.68 SQ. FT.	60.82 SQ. M.	
SEVERING SETBACK	12'-2"	2.80 M.	
PERCENTAGE OF ALLOWED OPENINGS	15.4%		
SQ. FTG. OF ALLOWED OPENINGS	100.92 SQ. FT.	9.45 SQ. M.	
ACTUAL SQ. FTG. OF OPENINGS	62.50 SQ. FT.	5.81 SQ. M.	
MAX SQFT OF INDIVIDUAL OPENING (50%)	N/A	N/A	

UNPROTECTED OPENINGS - UNIT B			
CODE CHECK			
EXPOSED BUILDING FACE	654.68 SQ. FT.	60.82 SQ. M.	
SEVERING SETBACK	12'-2"	2.80 M.	
PERCENTAGE OF ALLOWED OPENINGS	15.4%		
SQ. FTG. OF ALLOWED OPENINGS	100.92 SQ. FT.	9.45 SQ. M.	
ACTUAL SQ. FTG. OF OPENINGS	62.50 SQ. FT.	5.81 SQ. M.	
MAX SQFT OF INDIVIDUAL OPENING (50%)	N/A	N/A	

PROPOSED REAR (SOUTH) ELEVATION (UNITS A&B)

SCALE: 3/16" = 1'-0"



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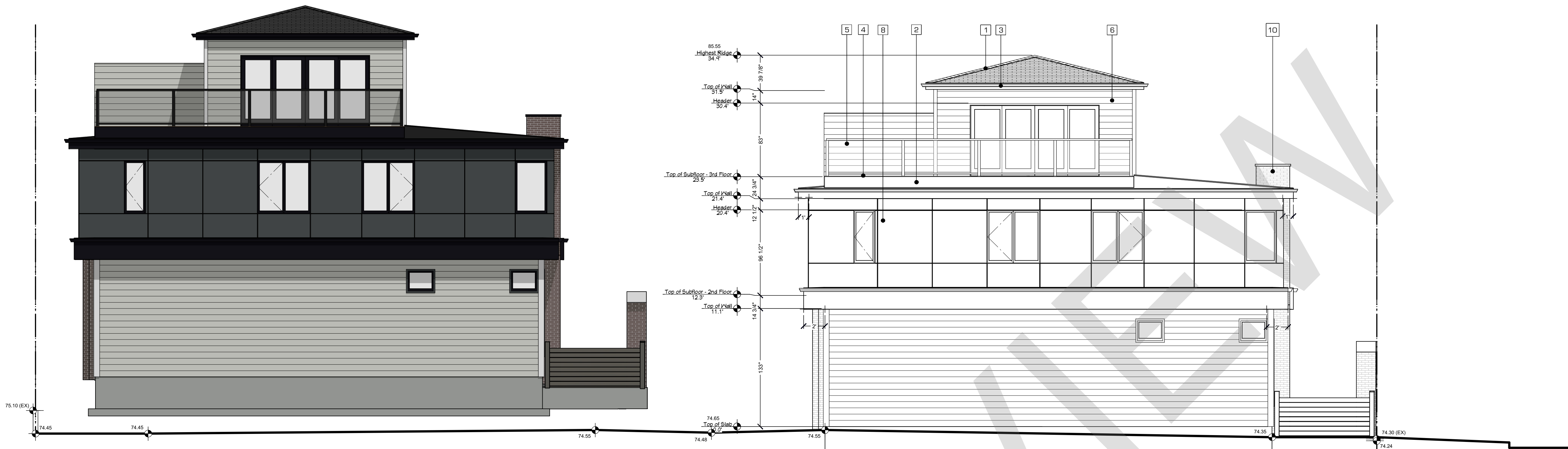
ELEVATIONS

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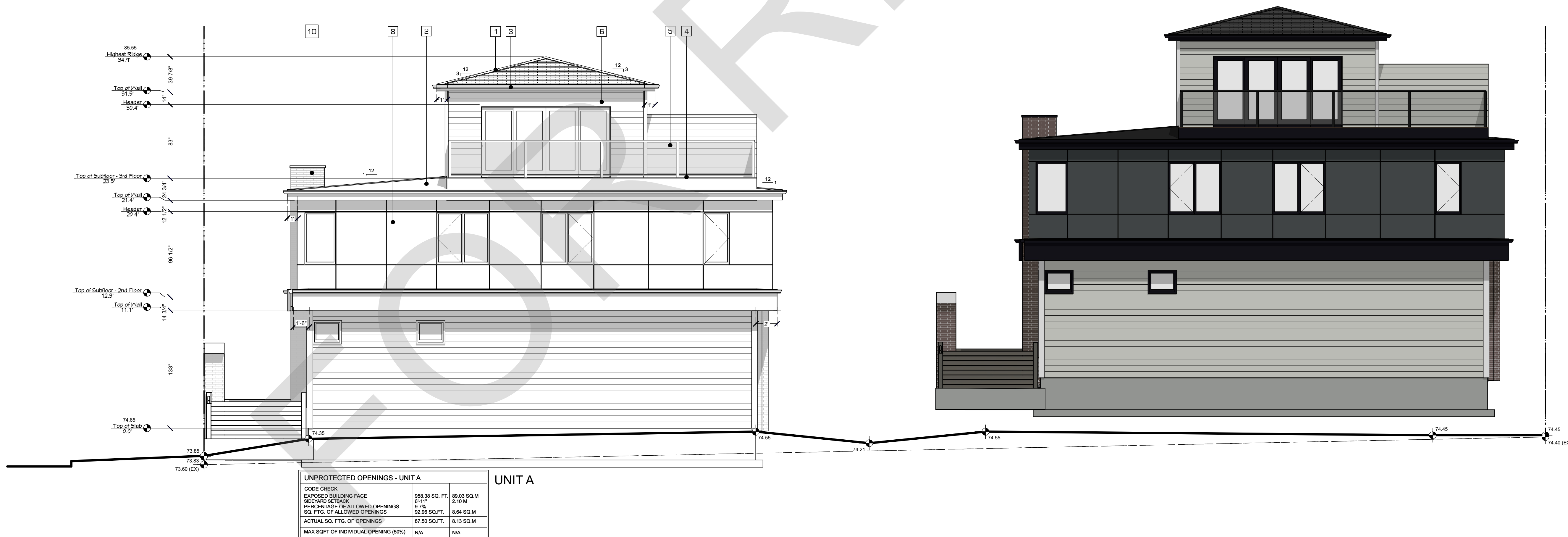
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PROPOSED LEFT (EAST) ELEVATION (UNITS A&B)

SCALE: 3/16" = 1'-0"



PROPOSED RIGHT (WEST) ELEVATION (UNITS A&B)

SCALE: 3/16" = 1'-0"



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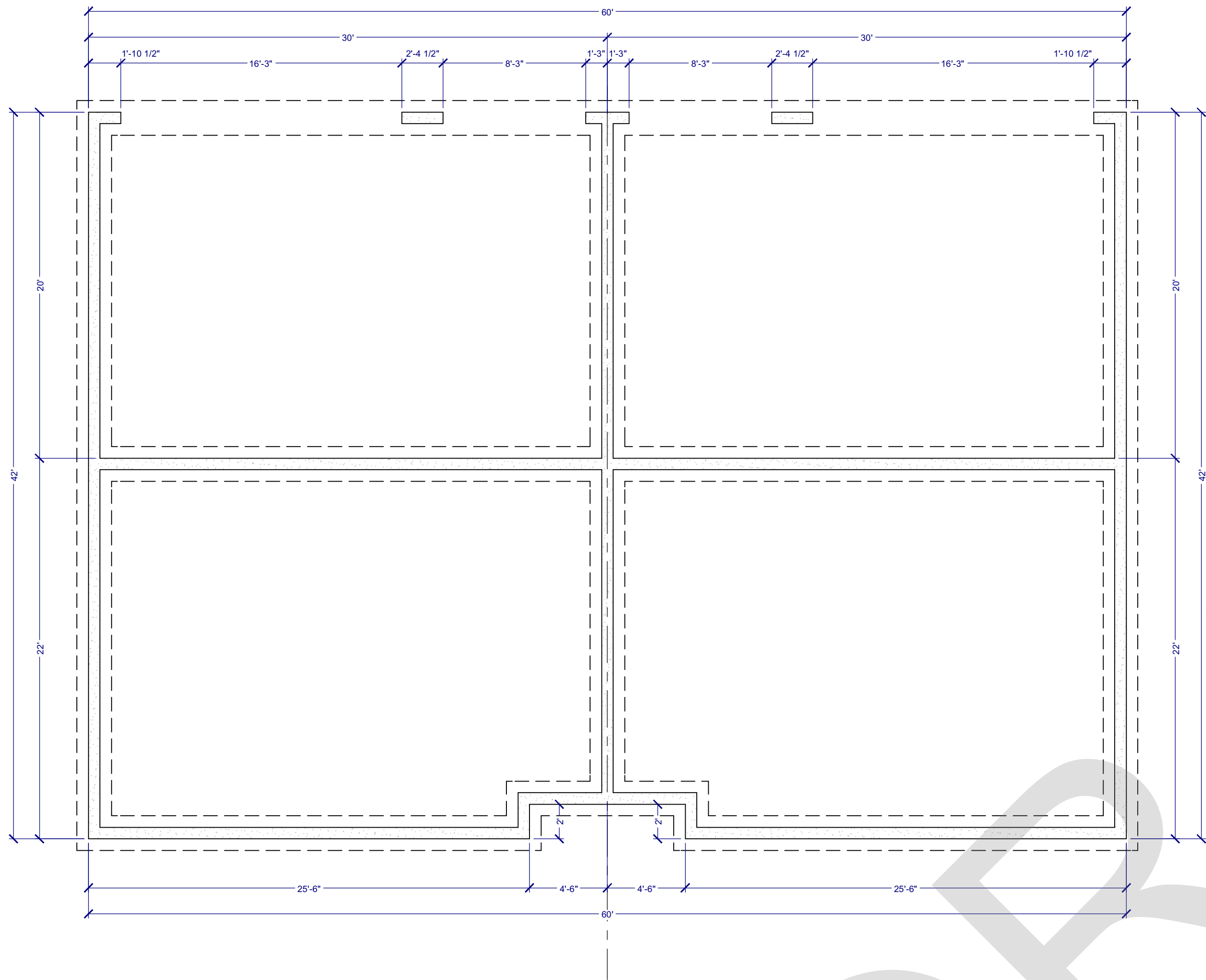
FLOOR PLANS

PROJECT #:	2024-0709
DATE:	2024.09.24
SCALE:	AS SHOWN
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DRAWING #:

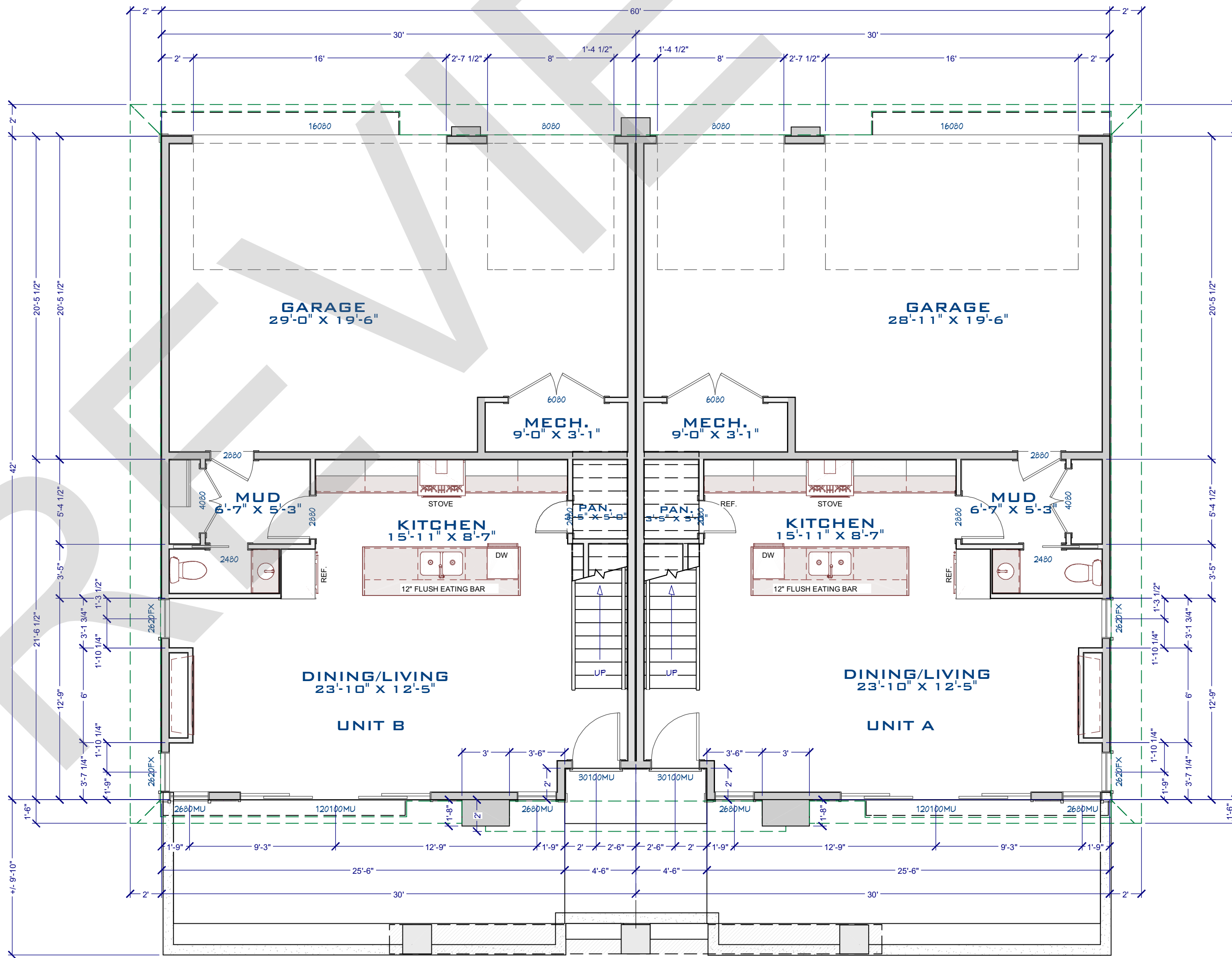
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FOUNDATION PLAN (UNITS A&B)

SCALE: 3/16" = 1'-0"



MAIN FLOOR PLAN (UNITS A&B)

SCALE: 3/16" = 1'-0"
10'-1" CEILING HGT
651 SQ.FT.



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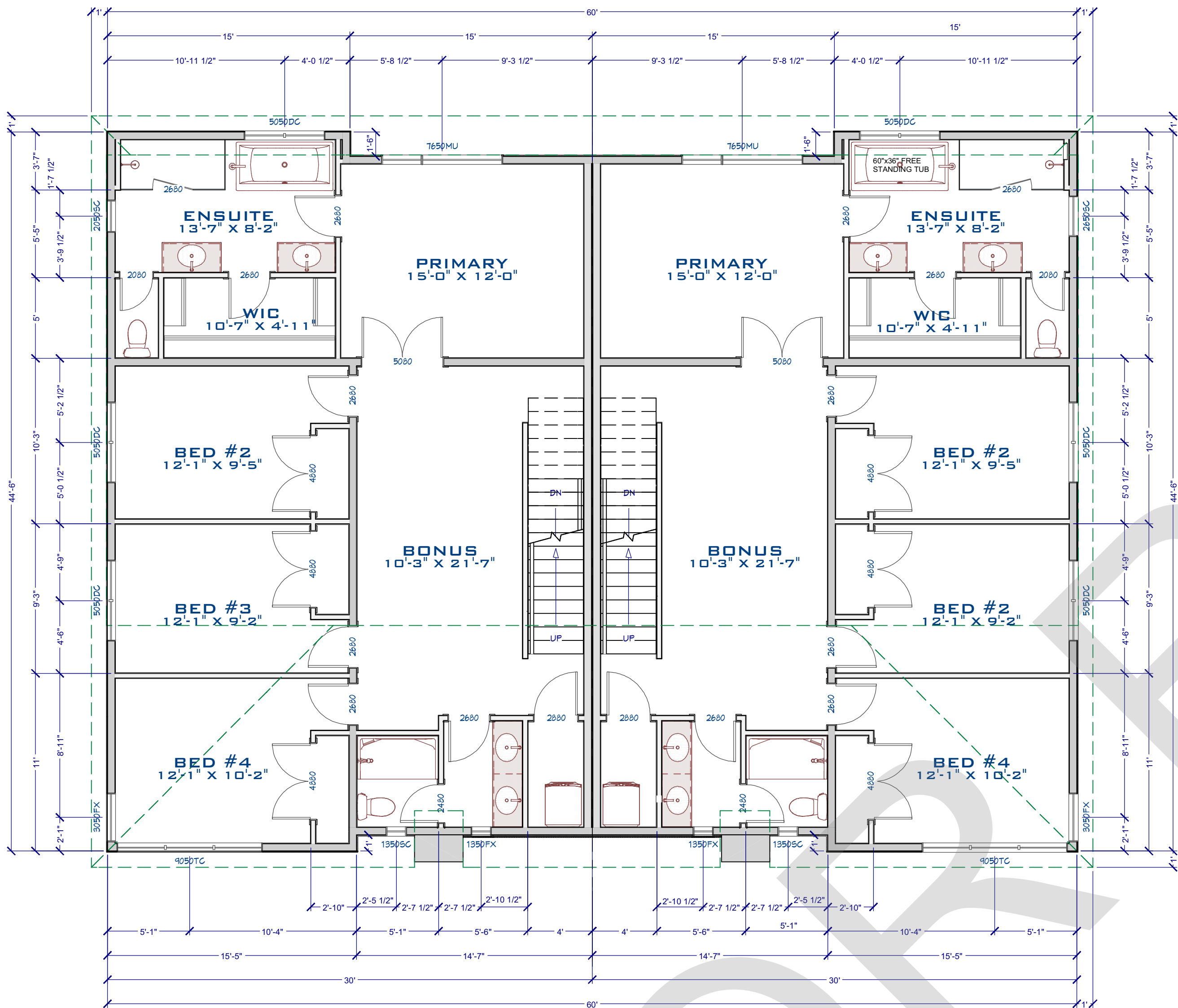
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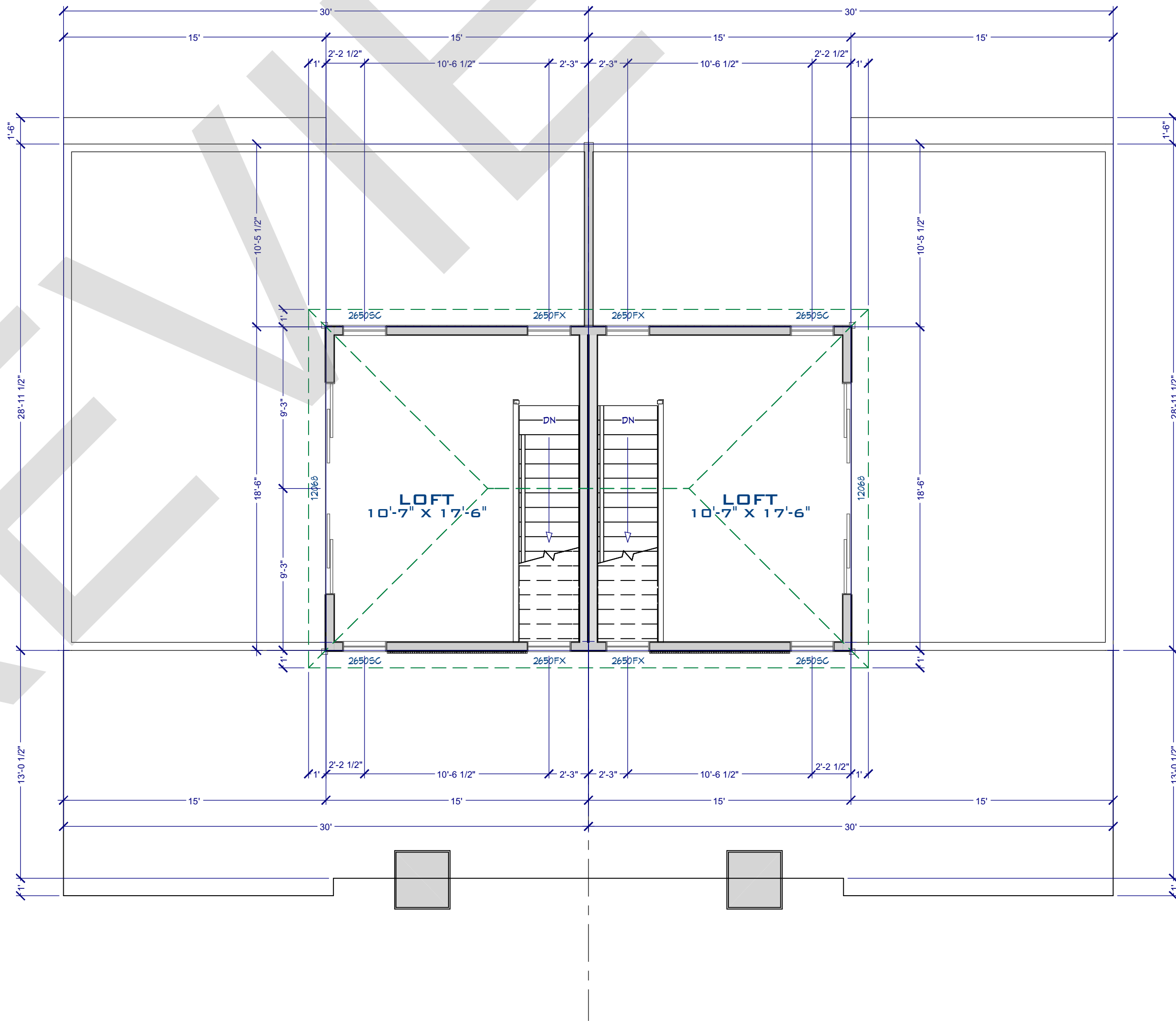
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1.	00/00/0000



UPPER FLOOR PLAN (UNITS A&B)

SCALE: 3/16" = 1'-0"
9'-1" CEILING HGT
1298 SQ.FT.



THIRD FLOOR / ROOF DECK PLAN (UNITS A&B)

SCALE: 3/16" = 1'-0"
8'-1" CEILING HGT
278 SQ.FT.

DRAWING TITLE:

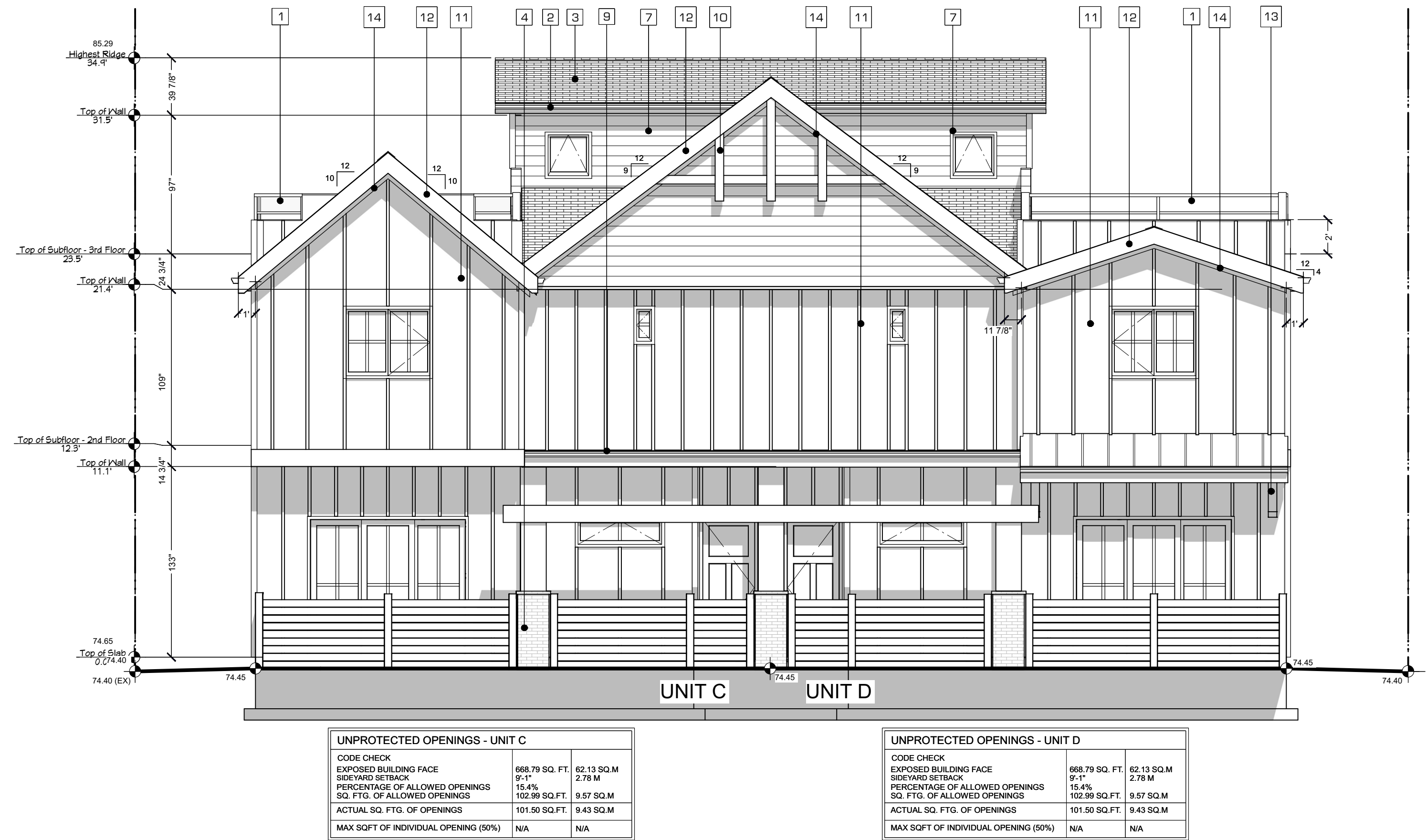
FLOOR PLANS

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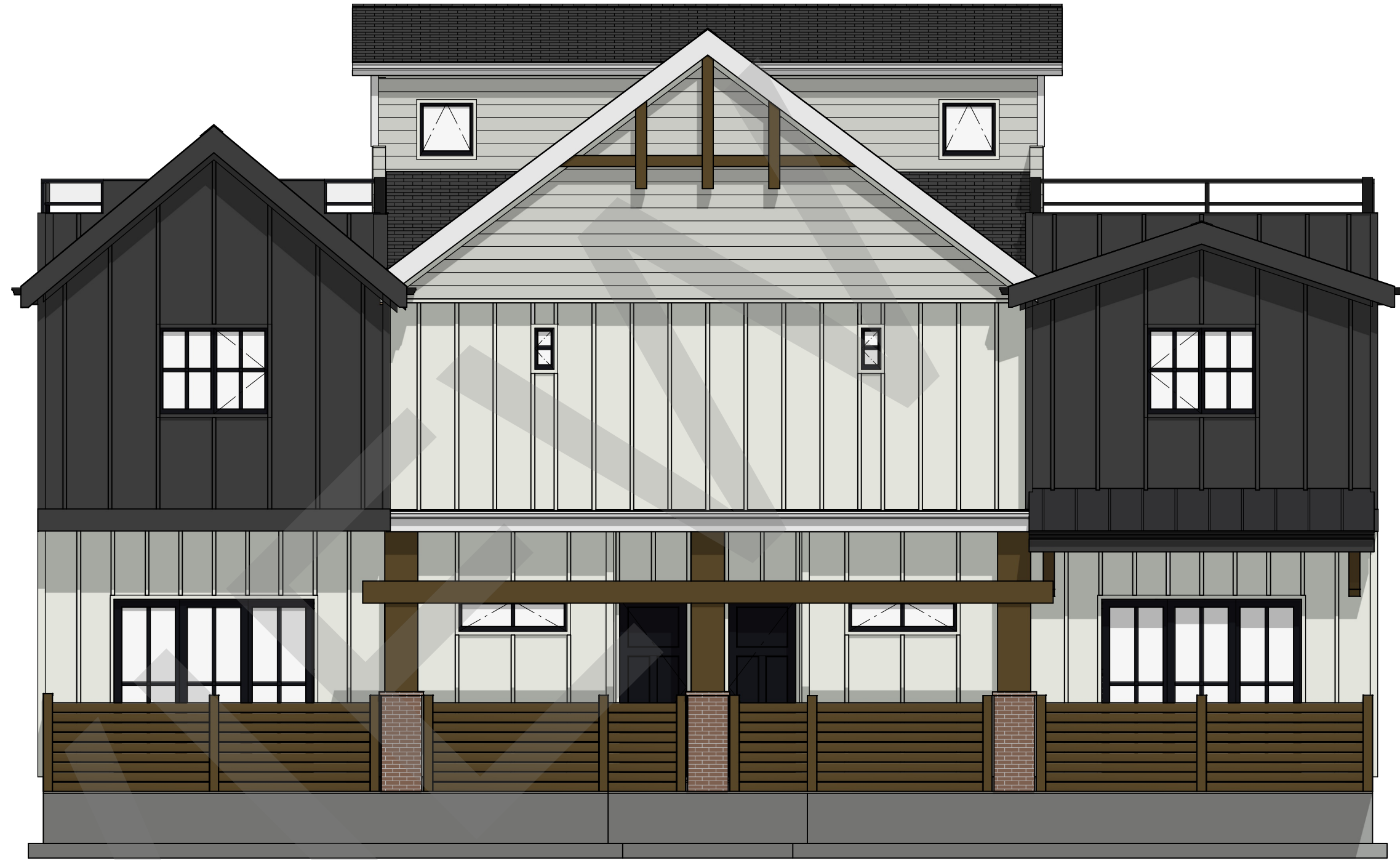
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PROPOSED FRONT (SOUTH) ELEVATION (UNITS C/D)
SCALE: 3/16" = 1'-0"

Exterior Finishes Schedule	
1	ALUMINUM & GLASS RAILING
2	ALUMINUM FASCIA VENTED ALUMINUM SOFFIT
3	ASPHALT SHINGLES
4	BRICK VENEER
5	DECK PAVERS
6	HARDIE PANELS
7	HARDIE SIDING C/W CORNER TRIM
8	NORTwood (OR EQUIV.)
9	ROOFING MEMBRANE
10	WOOD BRACKET DETAIL
11	HARDIE BOARD & BATTEN
12	12" FASCIA BATTEN
13	WOOD BRACKET (6" WIDE, 24" DEEP, 36" TALL)
14	2" SHADOW BATTEN



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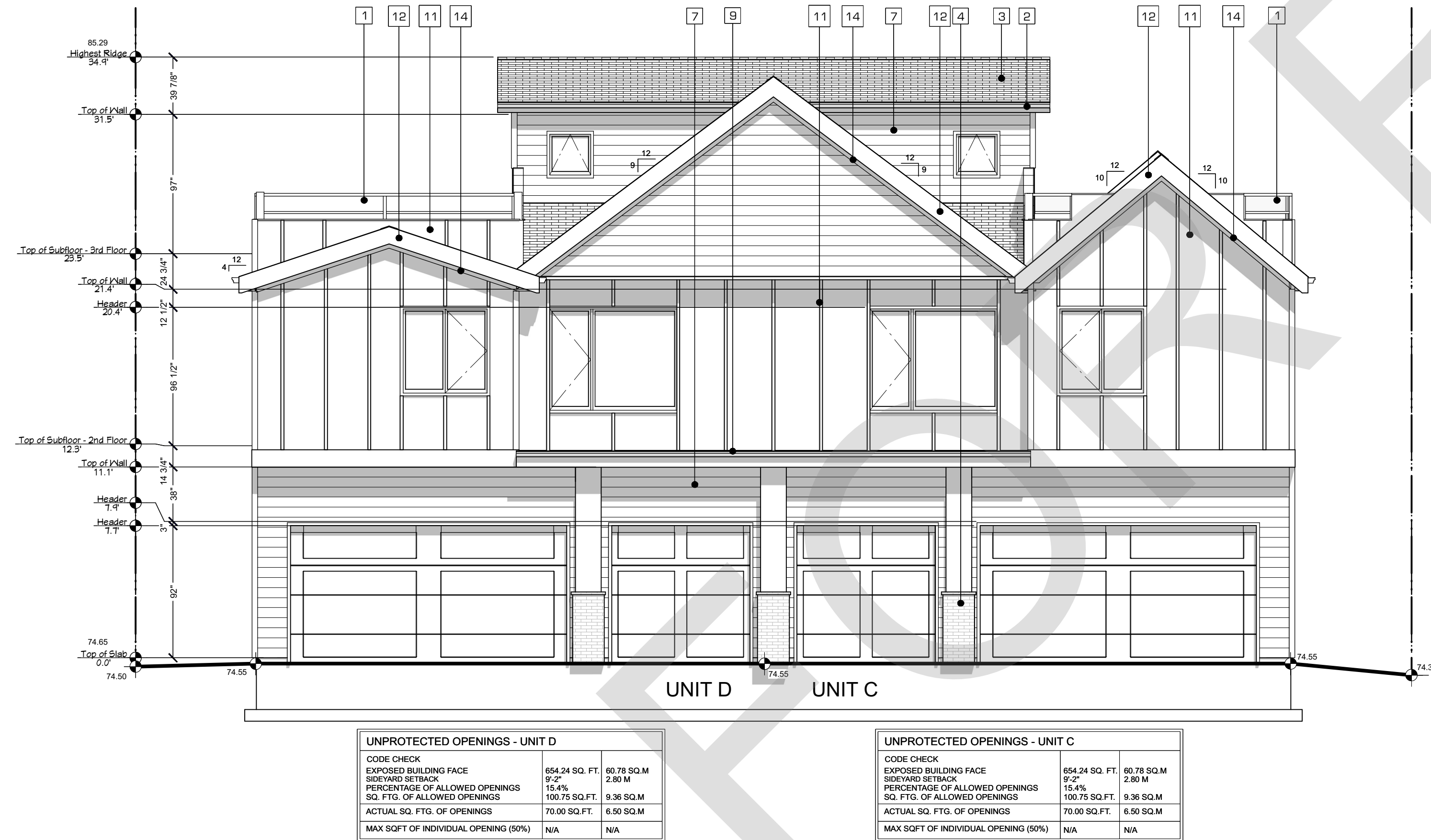
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PROPOSED REAR (NORTH) ELEVATION (UNITS C&D)
SCALE: 3/16" = 1'-0"



DEVELOPMENT PERMIT SET

REVISION:	DATE: (M/D/Y)
1.	00/00/0000

DRAWING TITLE:

ELEVATIONS

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DATE:	2024.09.24
SCALE:	AS SHOWN
DRAWN BY:	JTD

DRAWING #:

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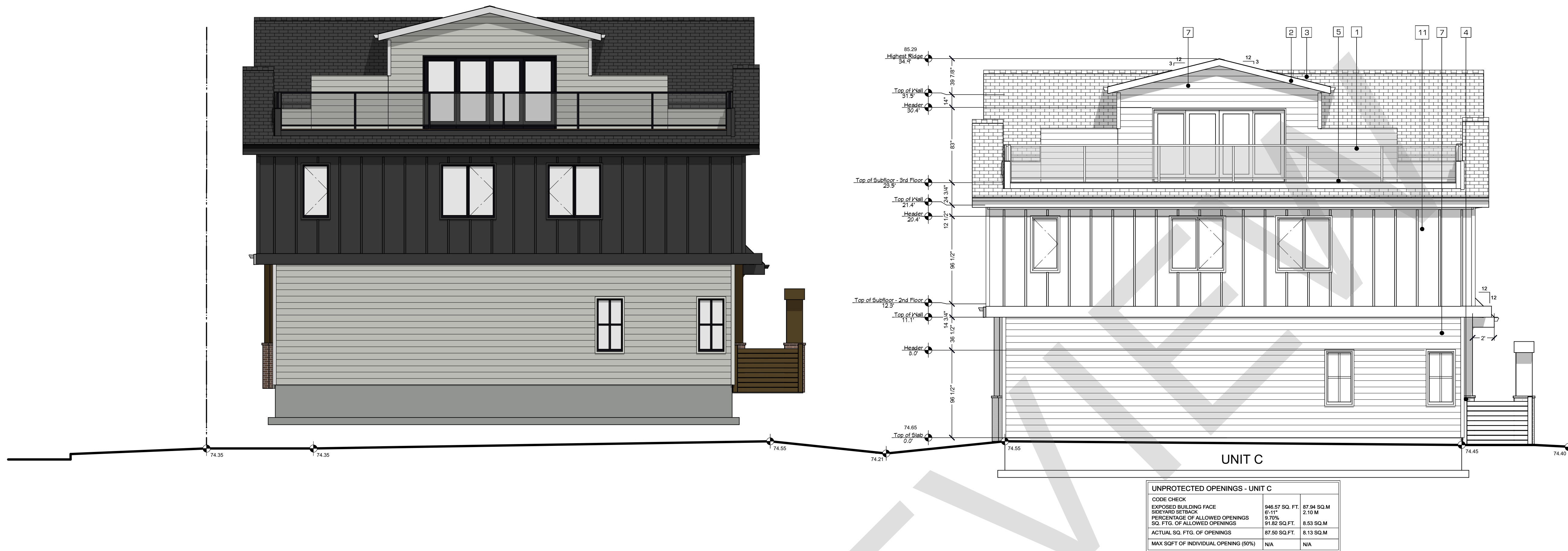
ELEVATIONS

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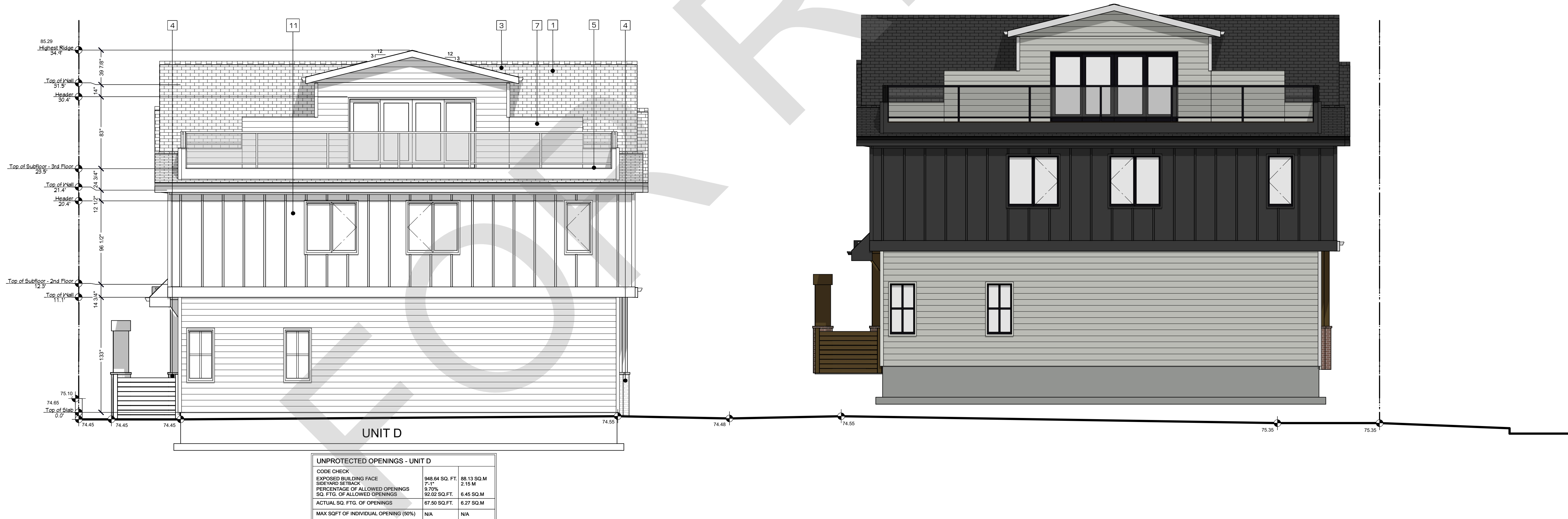
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PROPOSED LEFT (EAST) ELEVATION (UNITS C&D)

SCALE: 3/16" = 1'-0"



PROPOSED RIGHT (WEST) ELEVATION (UNITS C&D)

SCALE: 3/16" = 1'-0"



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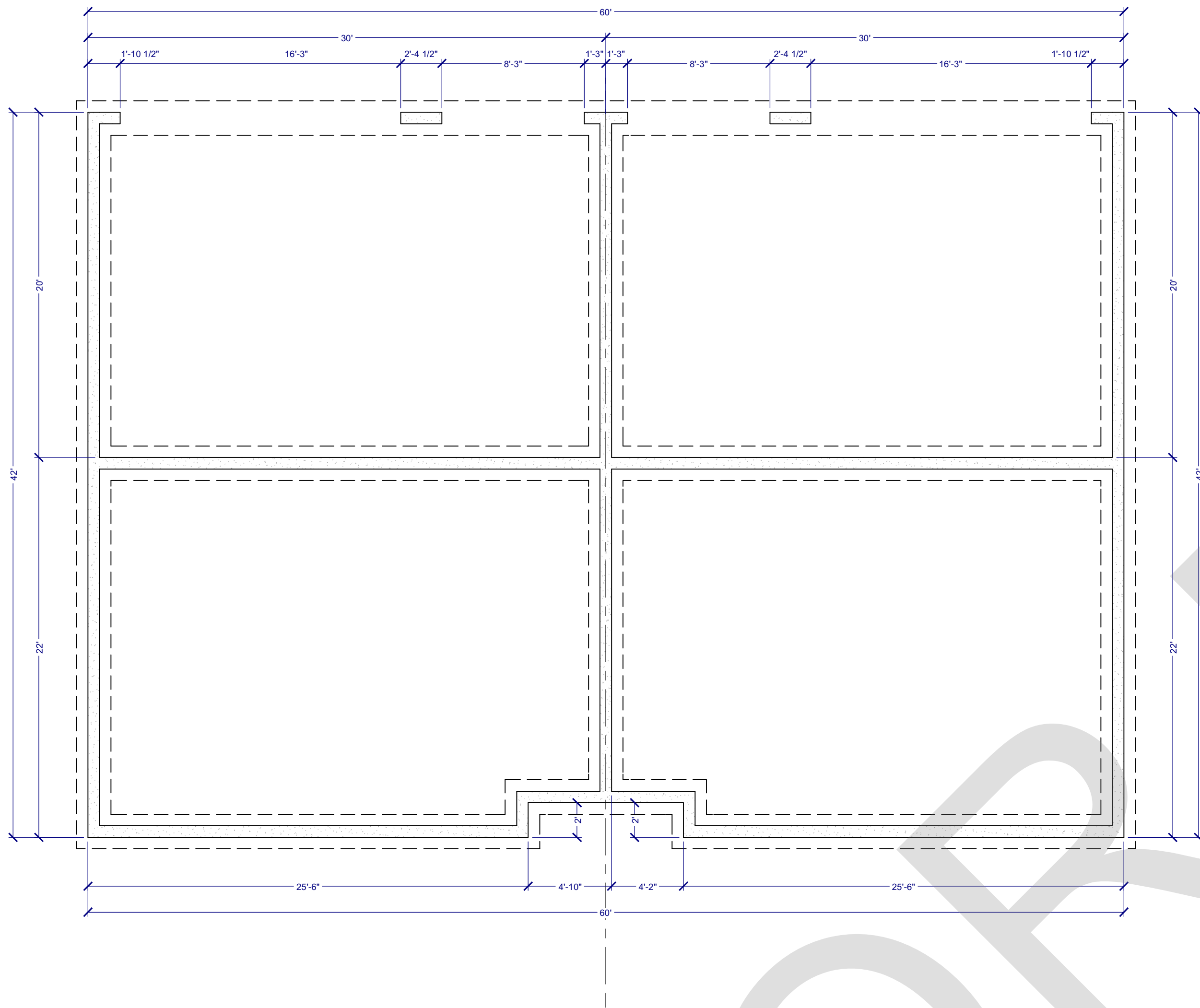
FLOOR PLANS

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DRAWN BY:	JTD

DRAWING #:

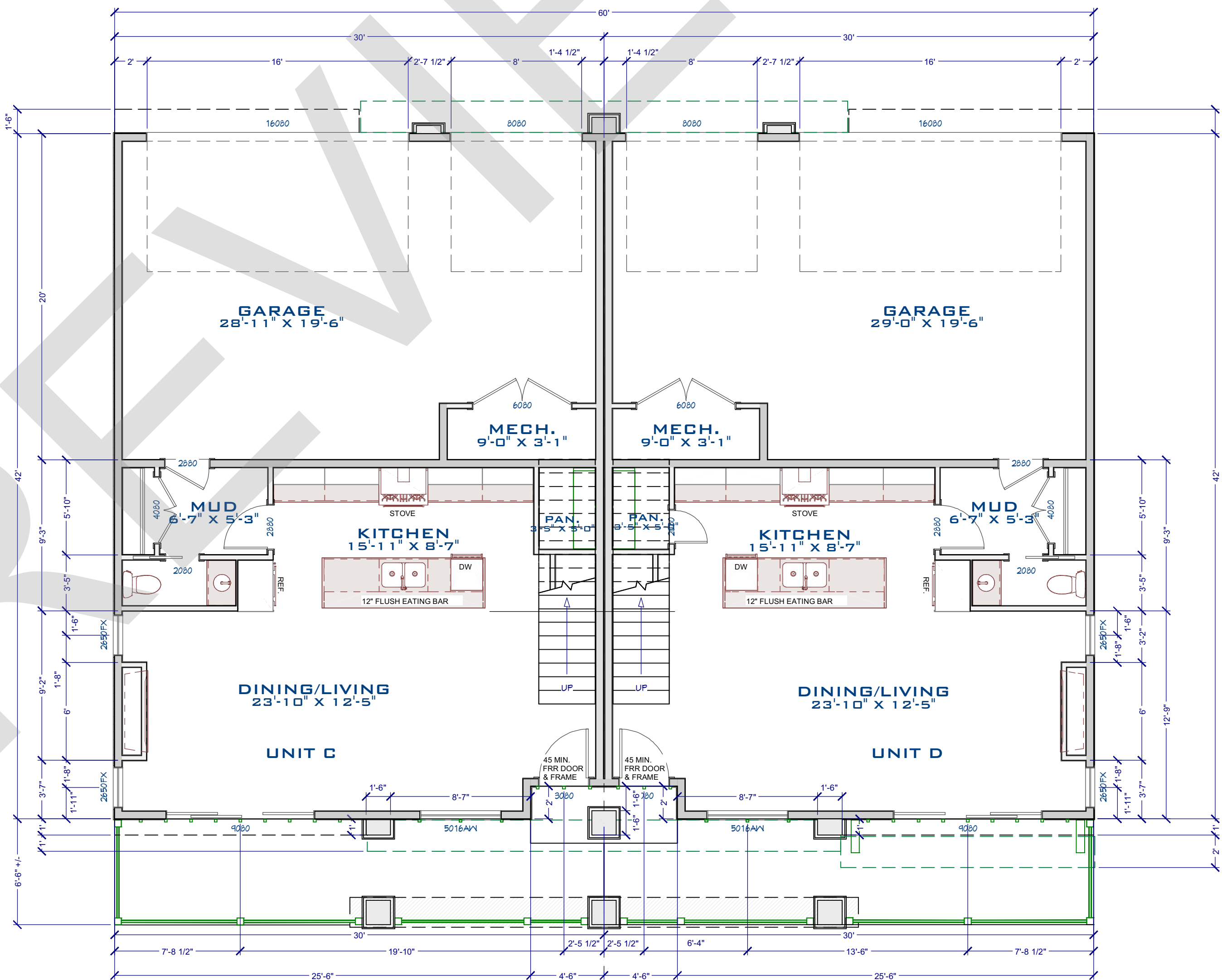
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FOUNDATION PLAN (UNITS C&D)

SCALE: 3/16" = 1'-0"



MAIN FLOOR PLAN (UNITS C&D)

SCALE: 3/16" = 1'-0"

10'-1" CEILING HGT

651 SQ.FT.



133 Channelside Cove SW, Airdrie,
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jeremy@jtechdrafting.com
www.jtechdrafting.com

CLIENT:

C: 000.000.0000

PROJECT NAME & ADDRESS:

DUPLEX PROJECT
709 Raymer Road
Kelowna, BC
Lot 1 & 2 Blk B Plan 24635

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DEVELOPMENT PERMIT SET

REVISION:	DATE: (M/D/Y)
1.	00/00/0000

DRAWING TITLE:

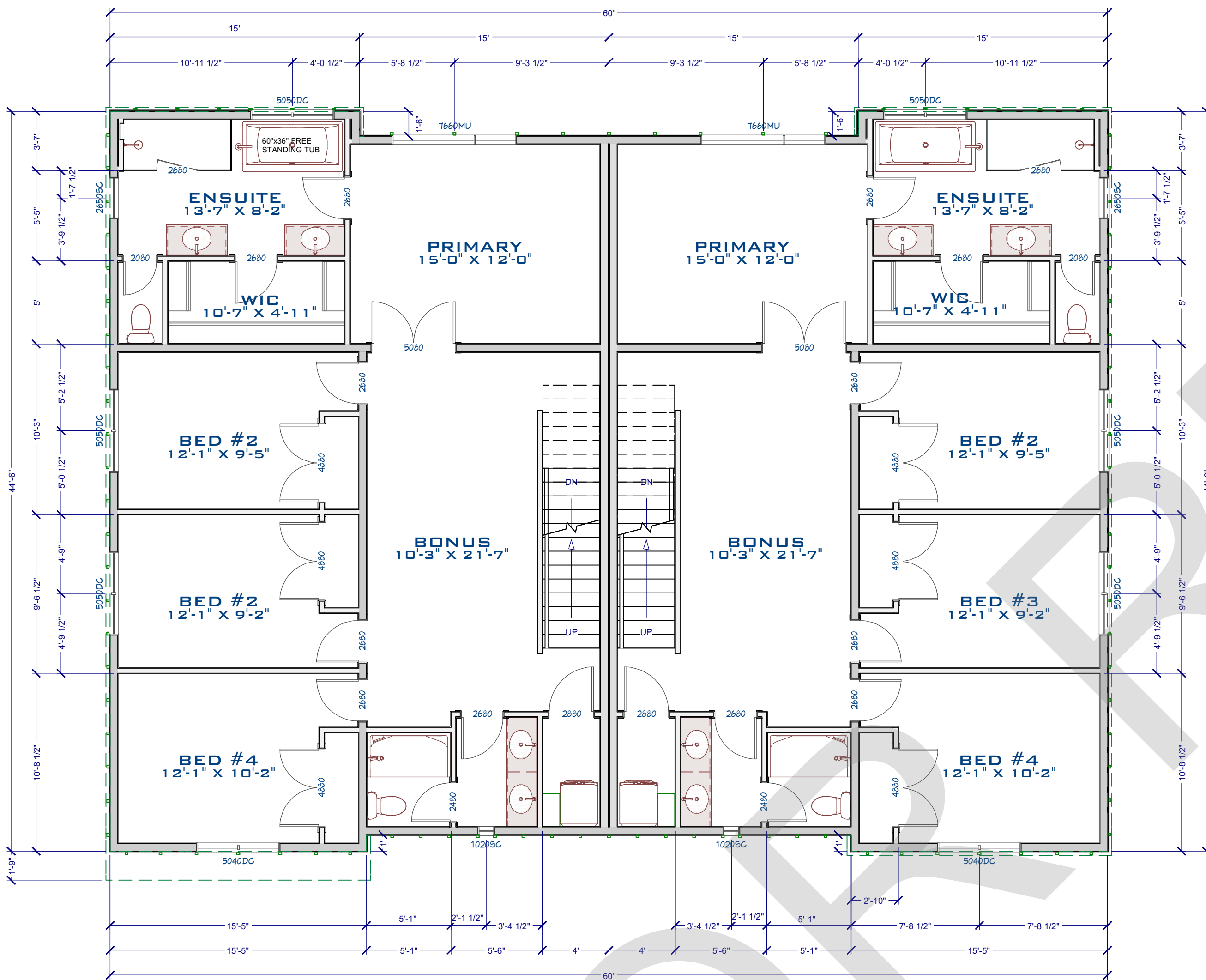
FLOOR PLANS

PROJECT #:	2024-0709
DATE:	2024.09.24
SCALE:	AS SHOWN
DRAWN BY:	JTD

DRAWING #:

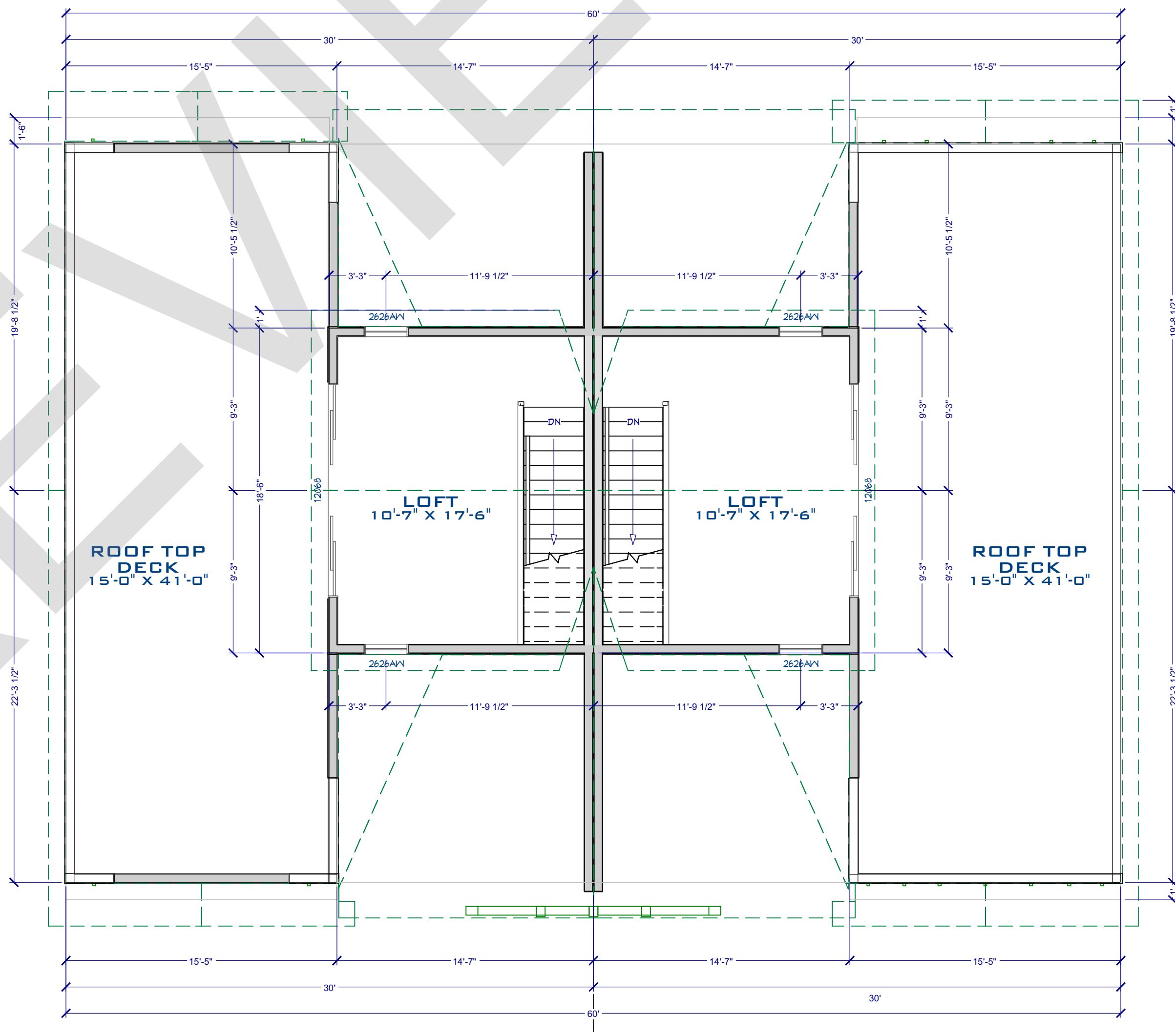
DP11

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UPPER FLOOR PLAN (UNITS C&D)

SCALE: 3/16" = 1'-0"
9'-1" CEILING HGT
1298 SQ.FT.



THIRD FLOOR / ROOF DECK PLAN (UNITS C&D)

SCALE: 3/16" = 1'-0"
8'-1" CEILING HGT
278 SQ.FT.



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REVISION:	DATE: (M/D/Y)
1.	00/00/0000

DRAWING TITLE:

ELEVATIONS

PROJECT #:	2024-0709
DATE:	2024.09.24
SCALE:	AS SHOWN
DRAWN BY:	JTD

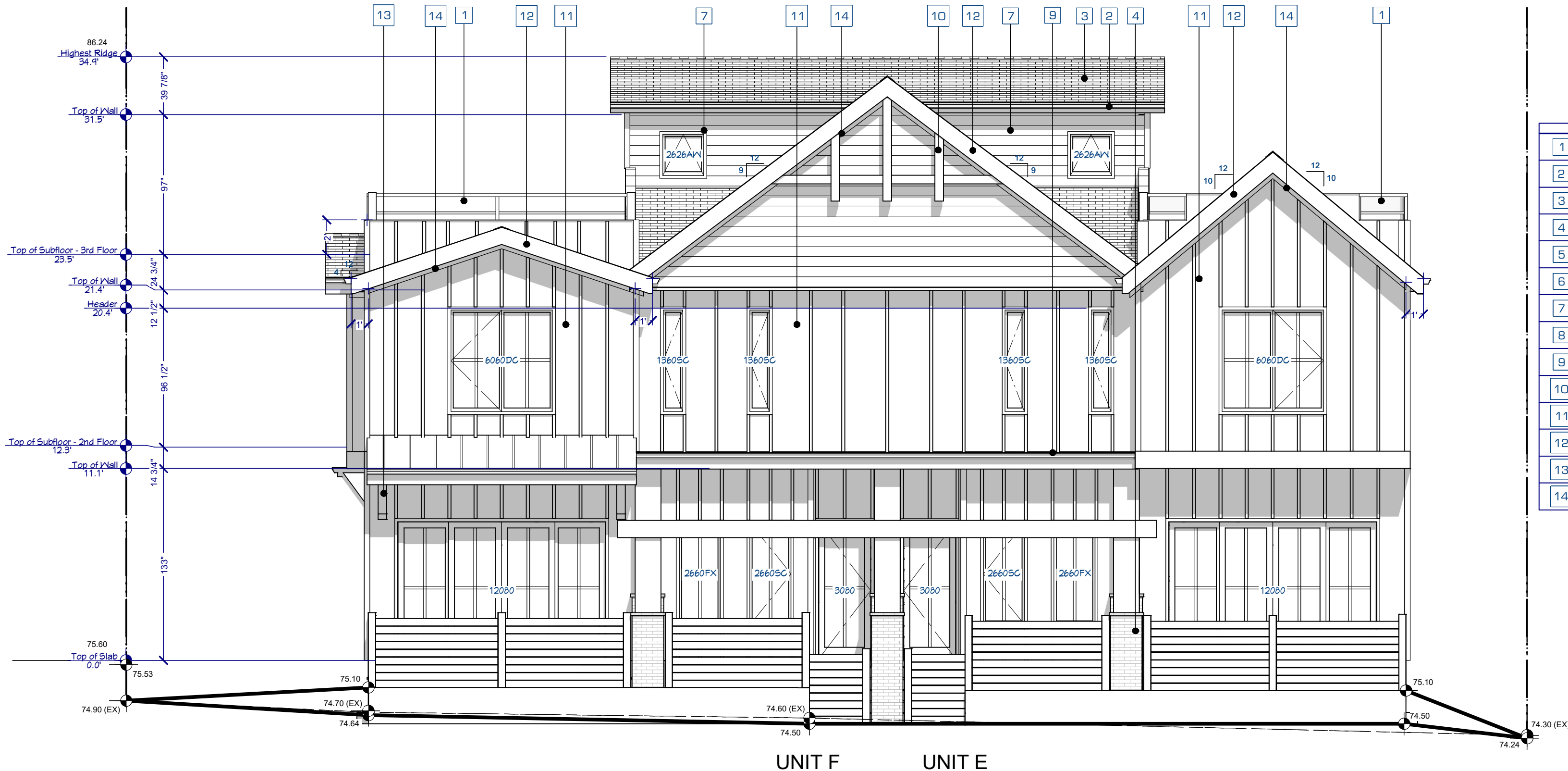
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PROPOSED FRONT (NORTH) ELEVATION (UNITS E/F)

SCALE: 3/16" = 1'-0"



PROPOSED REAR (SOUTH) ELEVATION (UNITS E&F)

SCALE: 3/16" = 1'-0"





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REVISION:	DATE: (M/D/Y)
1.	00/00/0000

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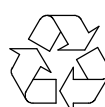
ELEVATIONS

PROJECT #:	2024-0709
DATE:	2024.09.24
SCALE:	AS SHOWN
DRAWN BY:	JTD

DRAWING #:

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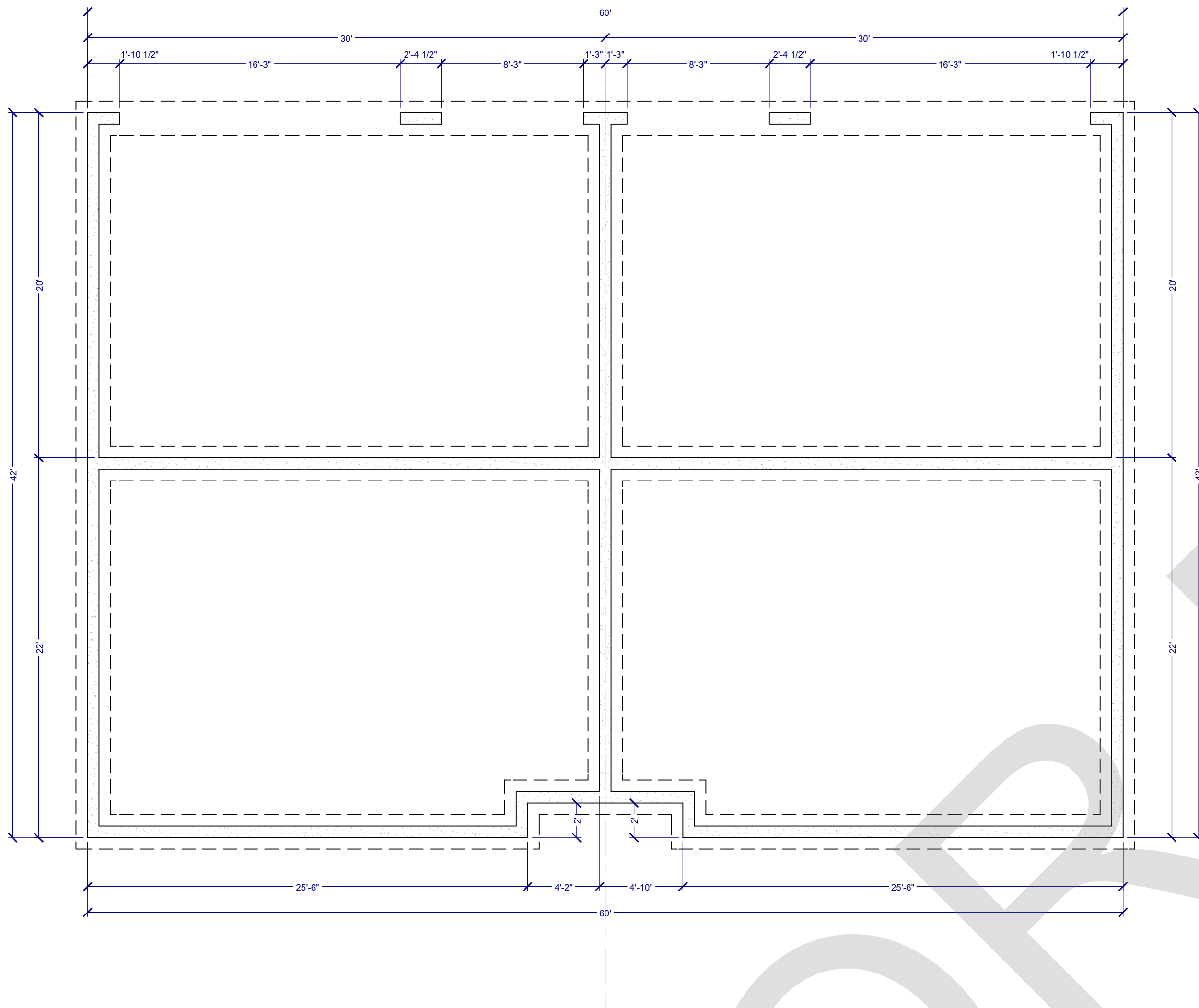
FLOOR PLANS

PROJECT #:	2024-0709
DATE:	2024.09.24
SCALE:	AS SHOWN
DRAWN BY:	JTD

DRAWING #:

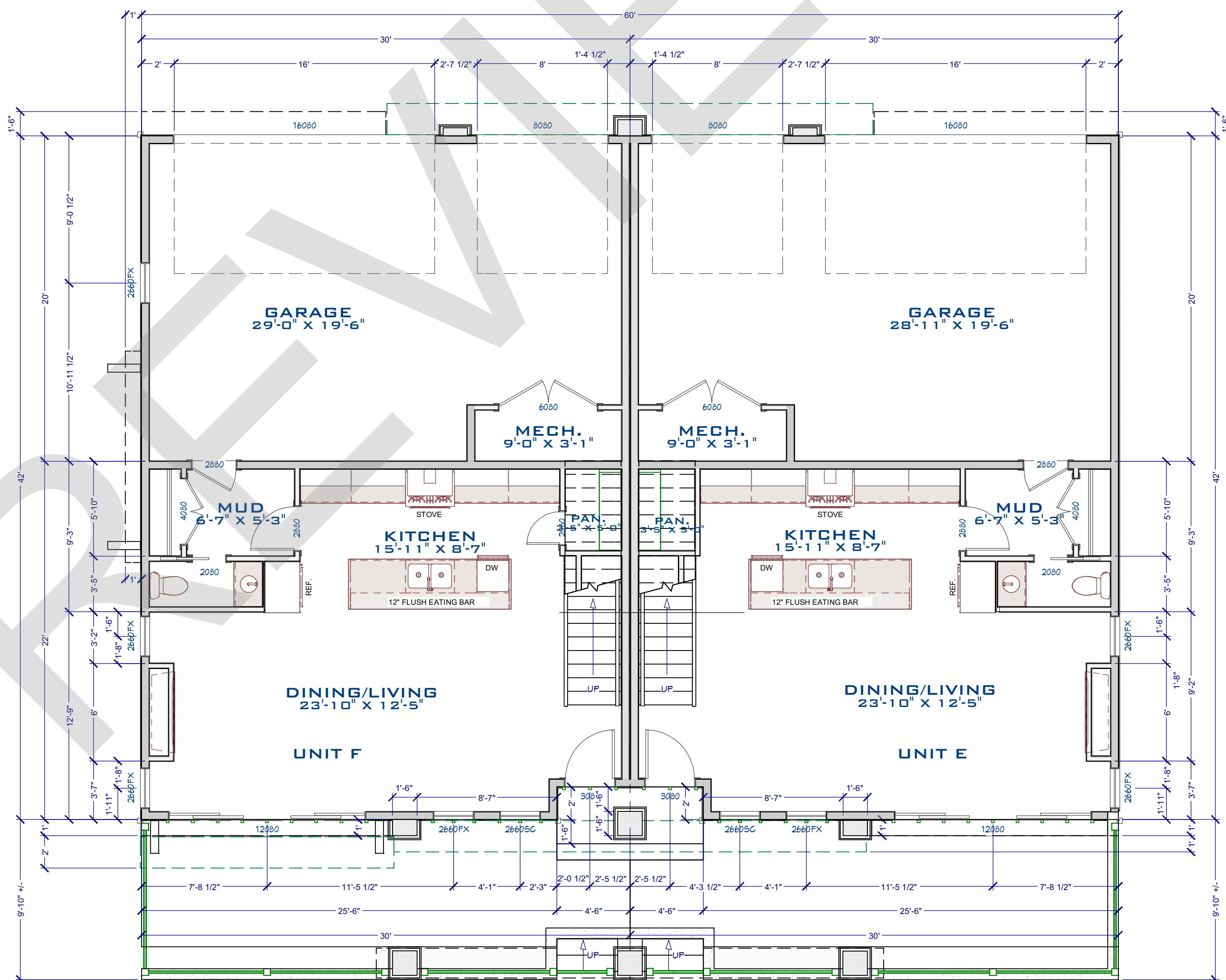
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FOUNDATION PLAN (UNITS E&F)

SCALE: 3/16" = 1'-0"



MAIN FLOOR PLAN (UNITS E&F)

SCALE: 3/16" = 1'-0"

10'-1" CEILING HGT
651 SQ.FT.



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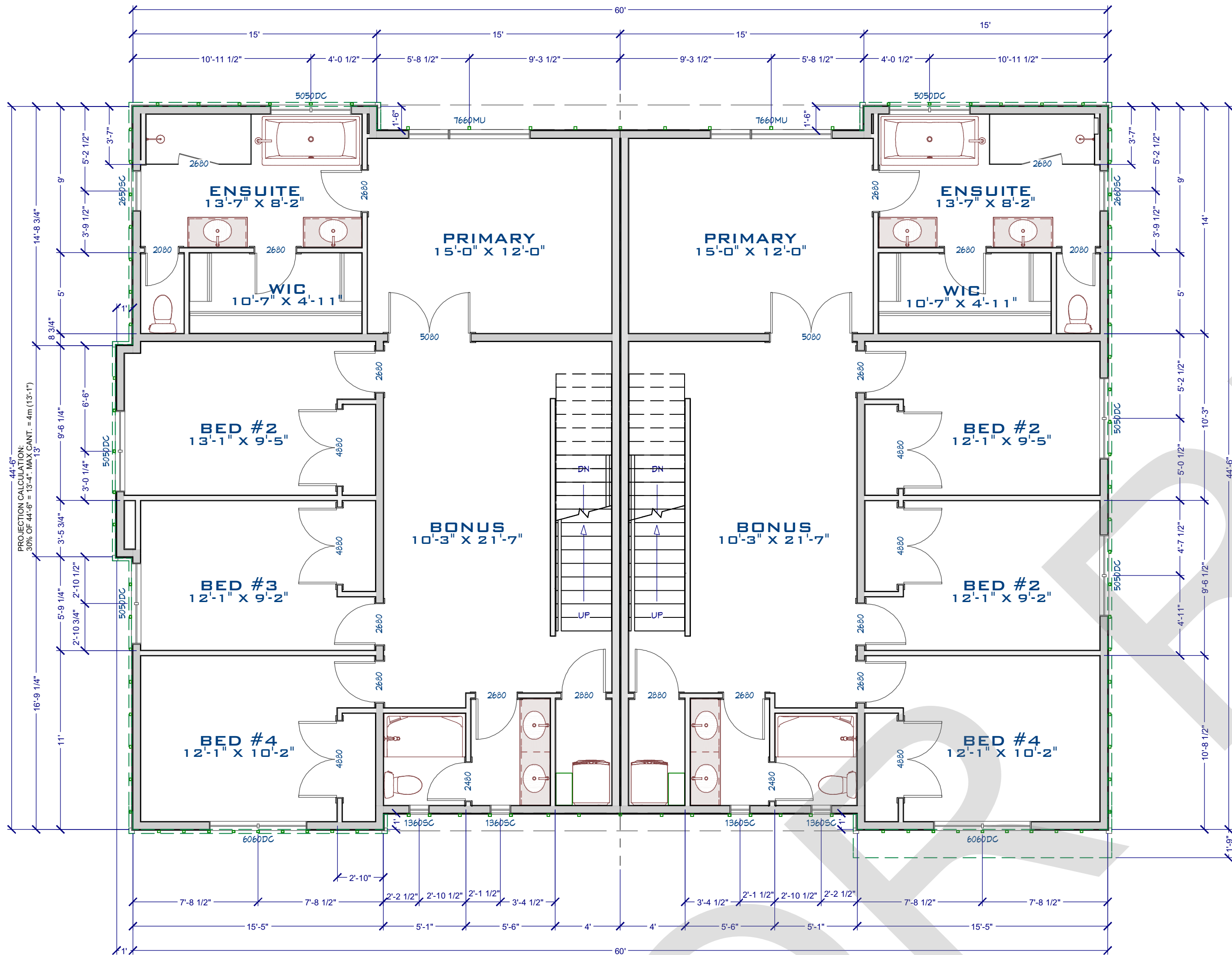
FLOOR PLANS

PROJECT #:	2024-0709
DATE:	2024.09.24
SCALE:	AS SHOWN
DRAWN BY:	JTD

DRAWING #:

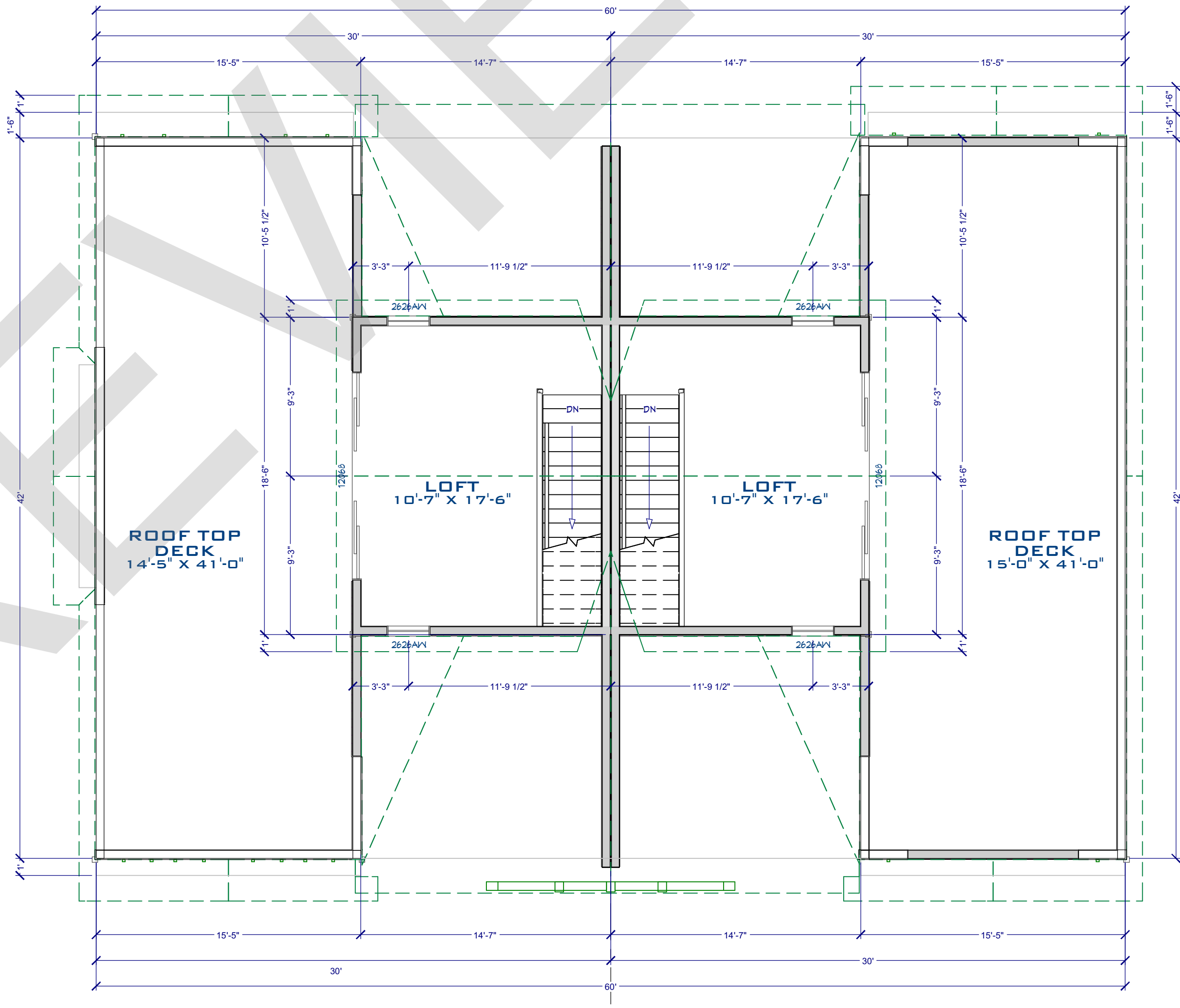
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UPPER FLOOR PLAN (UNITS E&F)

SCALE: 3/16" = 1'-0"
9'-1" CEILING HGT
1298 SQ.FT. / 1311 SQ.FT.



THIRD FLOOR / ROOF DECK PLAN (UNITS E&F)

SCALE: 3/16" = 1'-0"
8'-1" CEILING HGT
278 SQ.FT.



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DRAWING TITLE:

ELEVATIONS

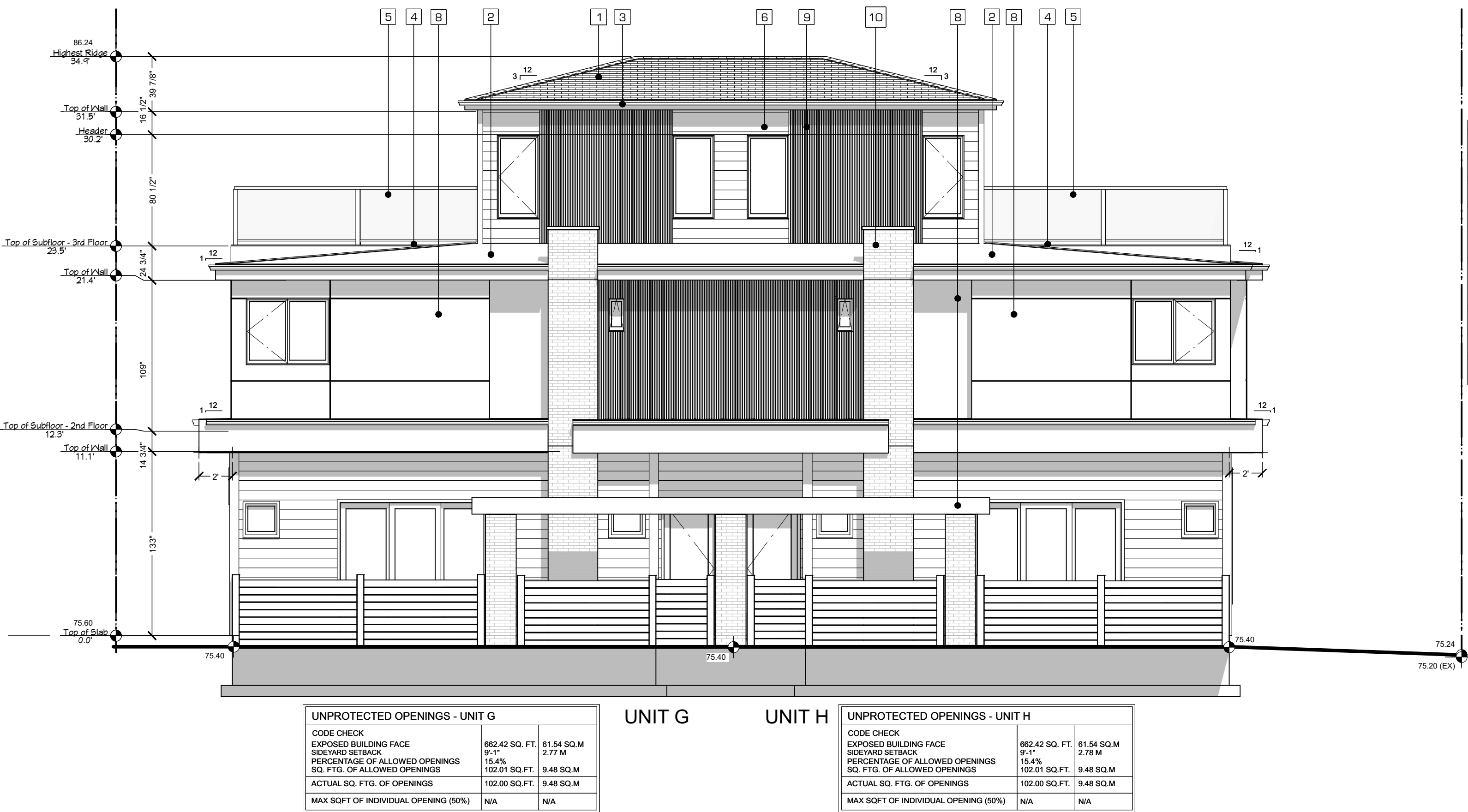
PROJECT #:	2024-0709
DATE:	2024.09.24
SCALE:	AS SHOWN
DRAWN BY:	JTD

DRAWING #:

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PROPOSED FRONT (SOUTH) ELEVATION (UNITS G/H)

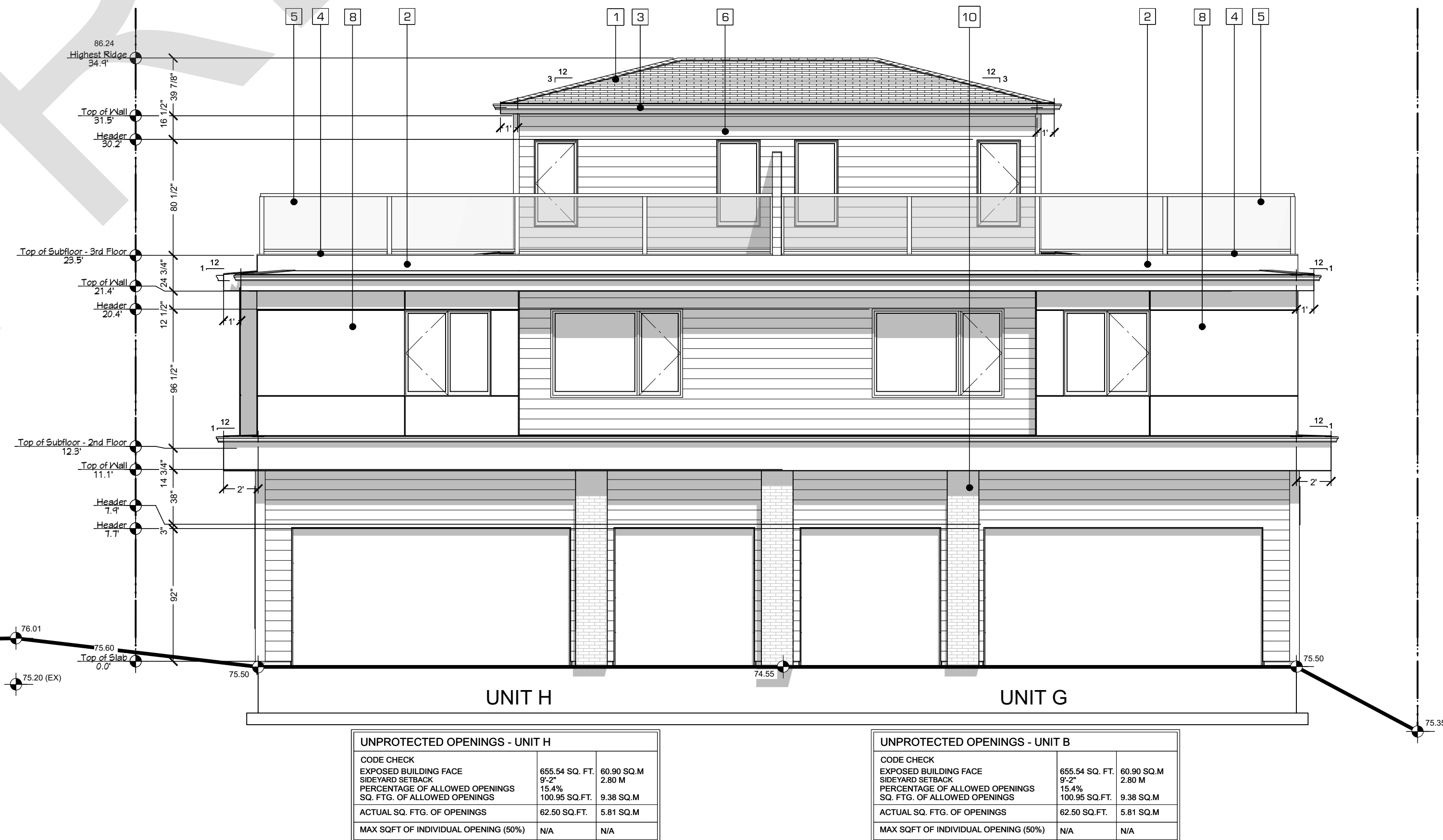
SCALE: 3/16" = 1'-0"



PROPOSED REAR (NORTH) ELEVATION (UNITS G&H)

SCALE: 3/16" = 1'-0"

Exterior Finishes Schedule	
1	ASPHALT SHINGLES
2	ROOFING MEMBRANE
3	ALUMINUM FASCIA VENTED ALUMINUM SOFFIT
4	DECK PAVERS
5	ALUMINUM & GLASS RAILING
6	HARDIE SIDING C/W CORNER TRIM
7	HARDIE BOARD & BATTEN
8	HARDIE PANELS
9	NORTWOOD (OR EQUIV.)
10	BRICK VENEER





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1.	00/00/0000

DRAWING TITLE:

ELEVATIONS

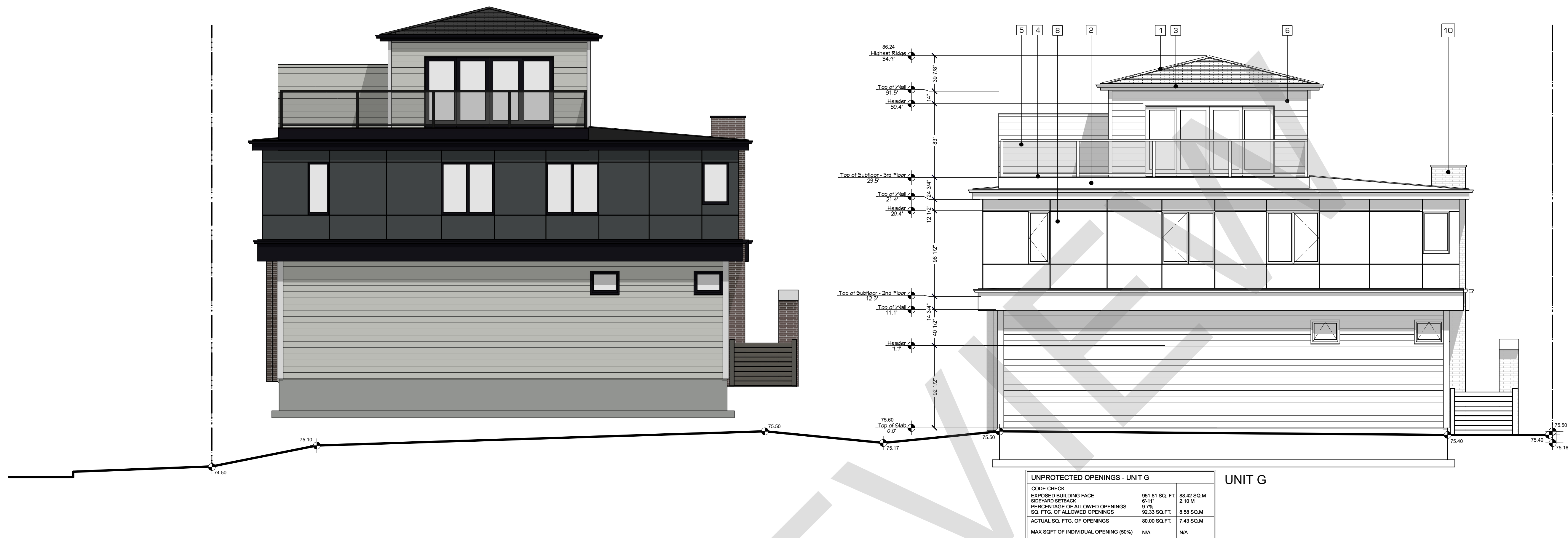
PROJECT #:	2024-0709
DATE:	2024.09.24
SCALE:	AS SHOWN
DRAWN BY:	JTD

DRAWING #:

DP17

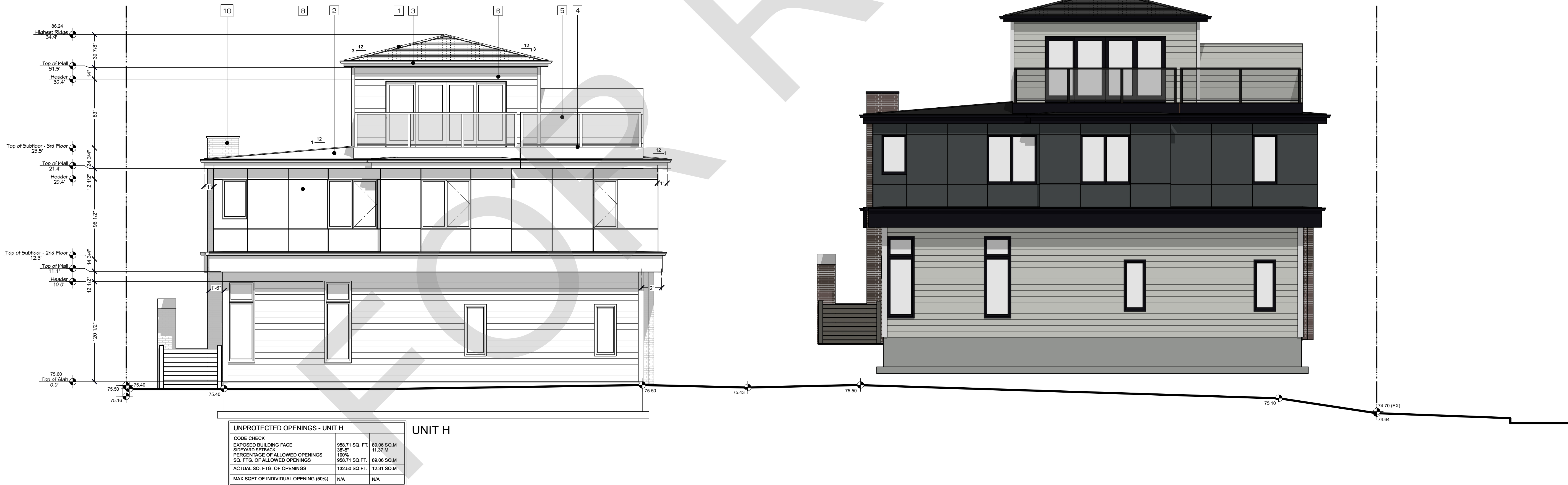
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PROPOSED LEFT (WEST) ELEVATION (UNITS G&H)

SCALE: 3/16" = 1'-0"



PROPOSED RIGHT (EAST) ELEVATION (UNITS G&H)

SCALE: 3/16" = 1'-0"



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1.	00/00/0000

DRAWING TITLE:

FLOOR PLANS

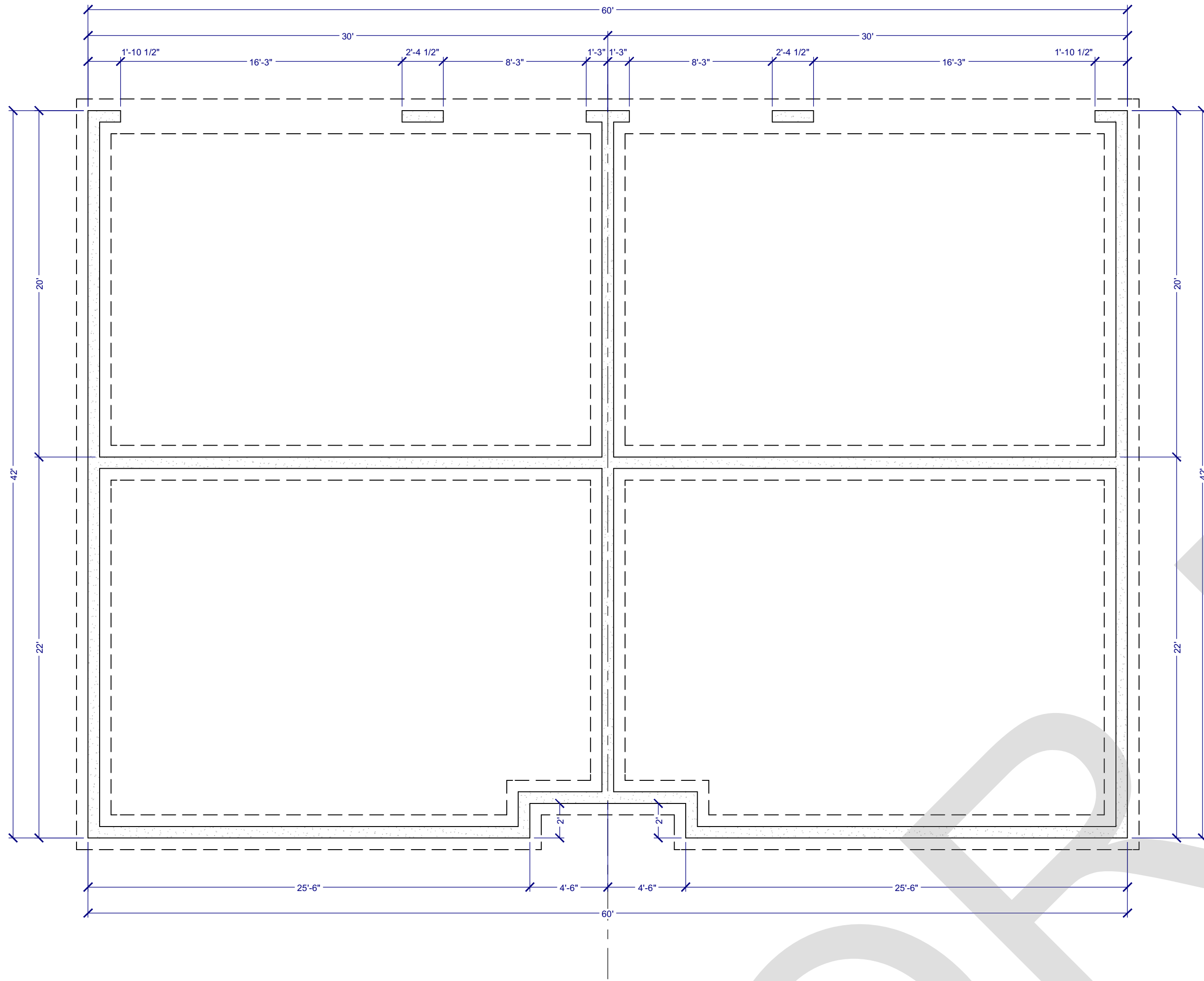
PROJECT #:	2024-0709
DATE:	2024.09.24
SCALE:	AS SHOWN
DRAWN BY:	JTD

DRAWING #:

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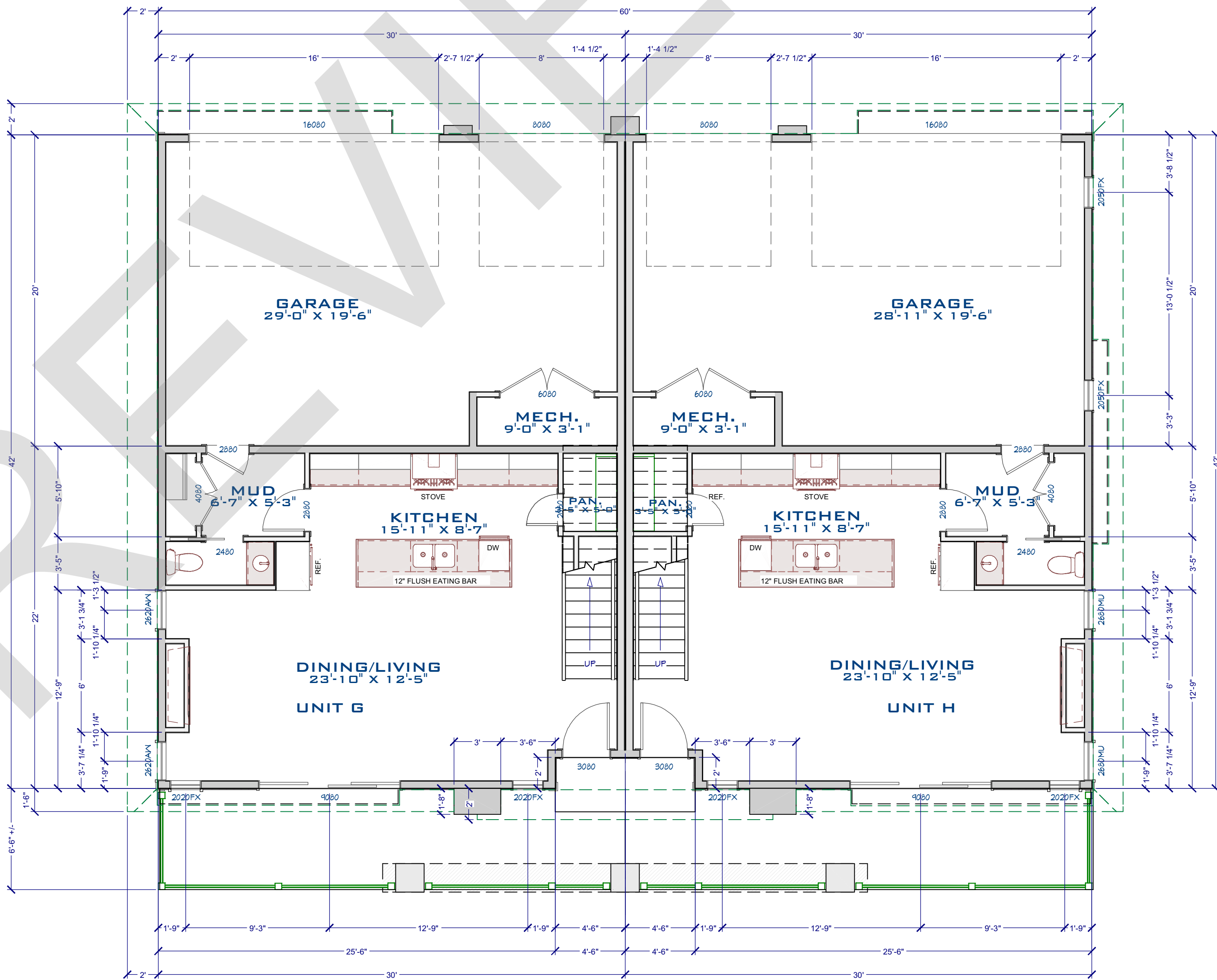
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FOUNDATION PLAN (UNITS G&H)

SCALE: 3/16" = 1'-0"



MAIN FLOOR PLAN (UNITS G&H)

SCALE: 3/16" = 1'-0"

10'-1" CEILING HGT
651 SQ.FT.



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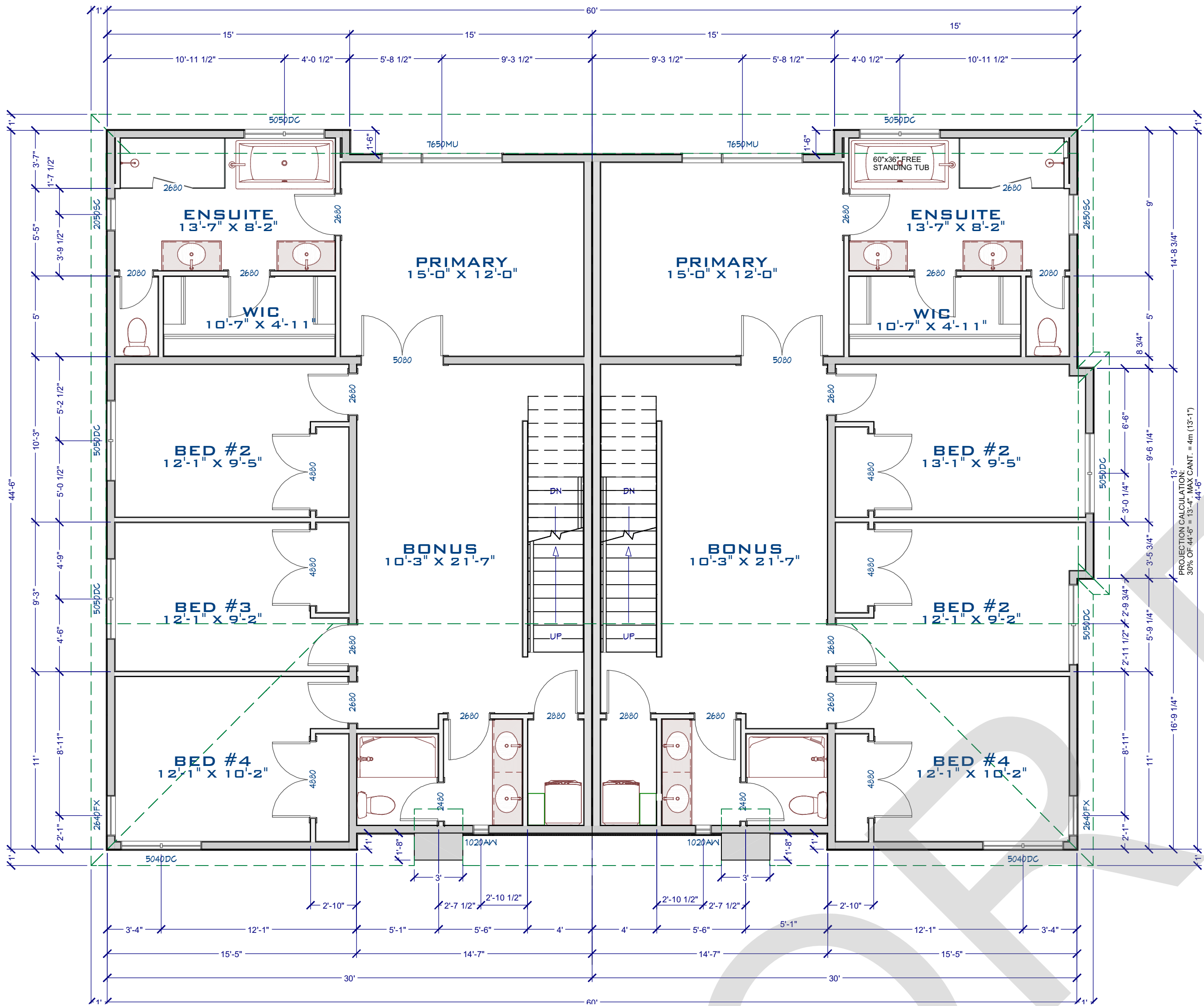
FLOOR PLANS

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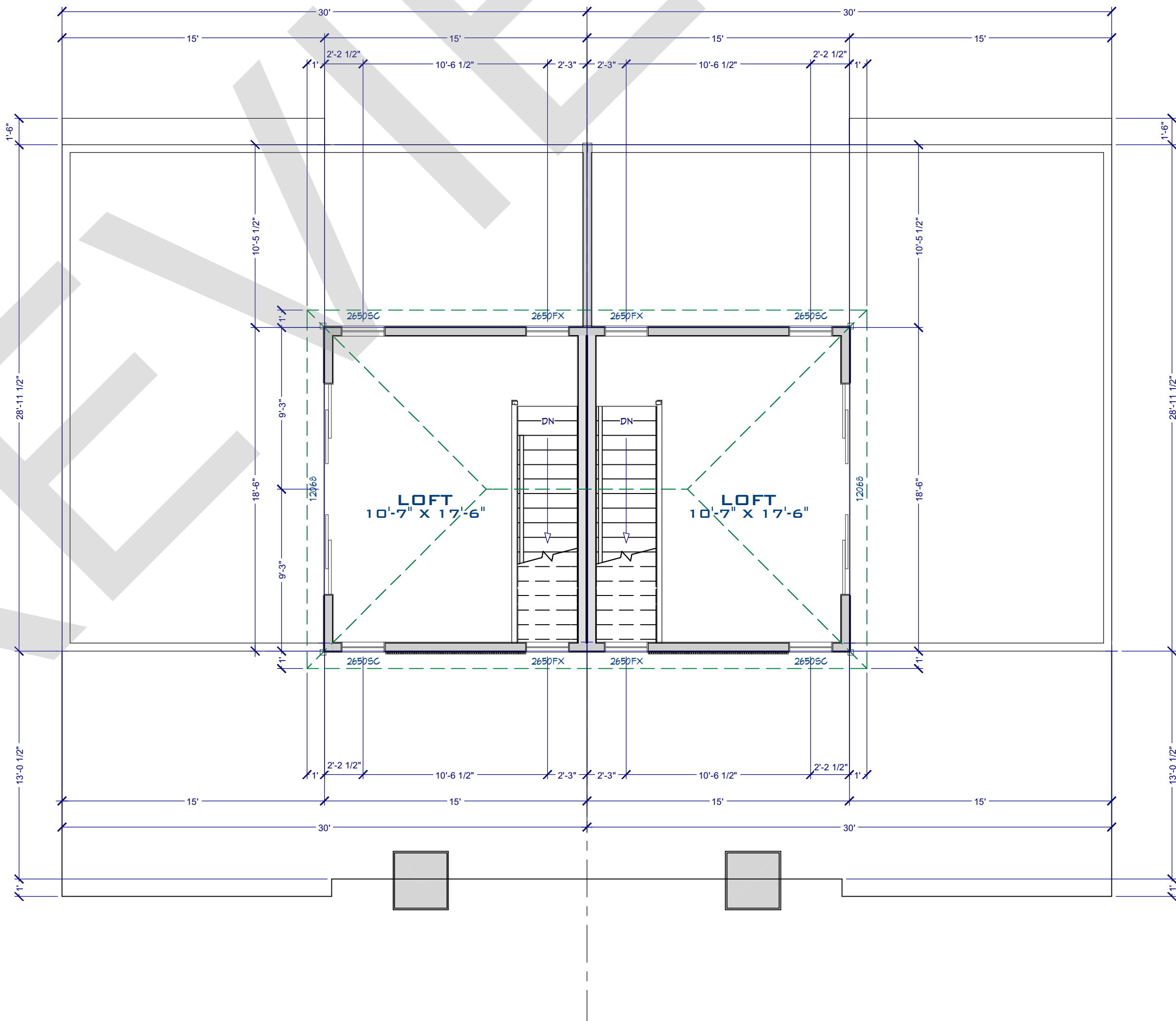
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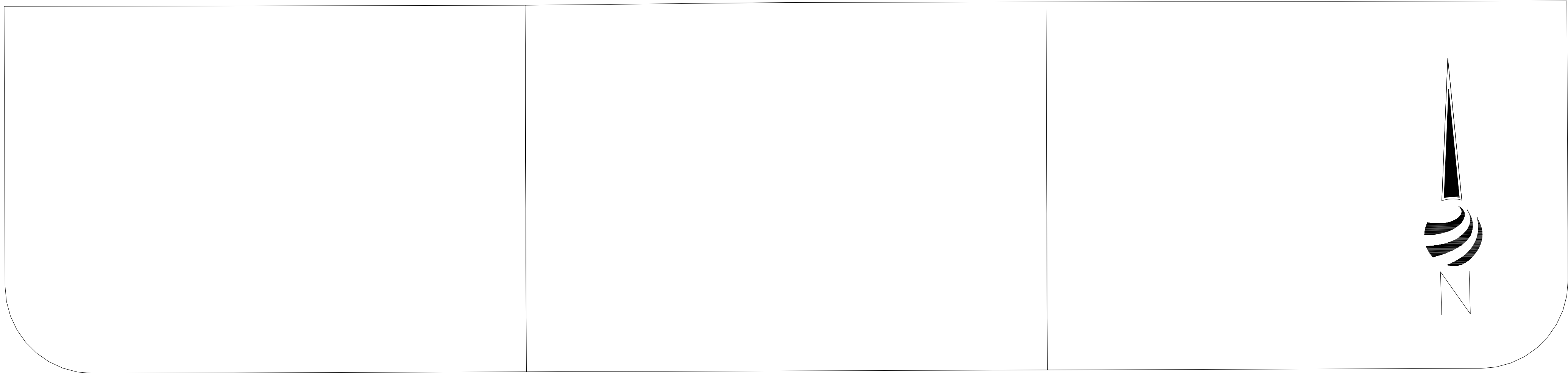
UPPER FLOOR PLAN (UNITS G&H)

SCALE: 3/16" = 1'-0"
9'-1" CEILING HGT
1298 SQ.FT. / 1311 SQ.FT.



THIRD FLOOR / ROOF DECK PLAN (UNITS G&H)

SCALE: 3/16" = 1'-0"
8'-1" CEILING HGT
278 SQ.FT.



GENERAL NOTES:

- ALL MEASUREMENTS ARE IN METERS @ 1:200 SCALE UNLESS NOTED OTHERWISE
- CONTRACTOR TO CONFIRM ALL DIMENSIONS & SERVICES PRIOR TO BEGINNING OF WORK
- ALL DISCREPANCIES TO BE REPORTED PRIOR TO THE BUILDER / DESIGNER PRIOR TO CONSTRUCTION START
- FINAL NUMBER OF RISERS AND GRADES MAY VARY AS PER SITE CONDITIONS AND ARE TO BE CONFIRMED ON SITE PRIOR TO FABRICATION
- PLUMBER TO ENSURE THAT THE SEWER PIPE BE LOCATED & INSTALLED WITH A MINIMUM 2% GRADE TO THE SERVICE INVERT OR SANITARY FIELD
- IF A SUMP PUMP IS REQUIRED THEN IT IS TO BE LOCATED & INSTALLED WITHIN THE MECHANICAL ROOM
- STREET LAMPS, SITE FURNITURE, ETC. ARE SHOWN AS PER SURVEYOR AND ACTUAL FIXTURES TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION
- BEARING CERTIFICATE REQUIRED
- ALL UNDERGROUND UTILITIES WERE PLOTTED FROM CITY OF CALGARY BLOCK PROFILE PLANS
- ADDITIONAL TREES AS REQUIRED TO COMPLY WITH THE CITY OF CALGARY BYLAWS (S) TWO PER SUBDIVIDED LOT
- PLANTING TO BE COMPLETE WITHIN THE RESPECTIVE SUBJECT SITES
- EXISTING DRIVEWAY TO BE REHABILITATED AT DEVELOPERS EXPENSE
- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM REAR LANE
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED
- FENCES ARE NOT SPECIFIED UNDER THIS APPLICATION, BUT MUST BE BUILT TO MEET CITY OF CALGARY BYLAWS

- Subject Property Line
- Right of Way Line
- Eave Line
- Fence Line
- Candlepier Line
- Sanitary Service Line
- Water Service Line

SITE AREA = 1810.87 m ²	=	942.28 m ²
PROPOSED BUILDINGS	=	388.93 m ²
DRIVEWAY / APRON / WALKWAY	=	1341.21m ² (74.06%)
TOTAL	=	465.06 m ² (25.94%)



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CLIENT:

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-

PROJECT NAME & ADDRESS:

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709 RAYMER ROAD
KELOWNA, BC
L 1 & 2 BLK B PLAN 24635

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DEVELOPMENT
PERMIT SET

REVISION:	DATE: (M/D/Y)
1.	

DRAWING TITLE:

SITE PLAN

PROJECT #:	2024-0709
DATE:	2024.09.24
SCALE:	AS SHOWN
DRAWN BY:	JTD

DRAWING #:

S1.1

PLEASE RECYCLE THIS PLAN
UPON COMPLETION OF THE
PROPOSED PROJECT.

SITE PLAN SCALE: 1:200

76.01 376.01 375.2

☐ Cantilever Line



DUPLEX PROJECT
709 RAYMER ROAD
KELOWNA, BC
L1 & 2 BLK B PLAN 24635



REVISION:	DATE: (M/D/Y)
1.	

S1.2

**PLEASE RECYCLE THIS PLAN
UPON COMPLETION OF THE
PROPOSED PROJECT.**



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CLIENT:

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■

PROJECT NAME & ADDRESS:

DUPLEX PROJECT
709 RAYMER ROAD
KELOWNA, BC
L 1 & 2 BLK B PLAN 24635

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DEVELOPMENT PERMIT SET

REVISION:	DATE: (M/D/Y)
1.	

DRAWING TITLE:

LANDSCAPING PLAN

PROJECT #:	2024-0709
DATE:	2024.09.24
SCALE:	AS SHOWN
DRAWN BY:	JTD
DRAWING #:	

S1.3



PLEASE RECYCLE THIS PLAN UPON COMPLETION OF THE PROPOSED PROJECT.

SITEPLAN LEGEND:

ORIGINAL SITE ELEVATIONS ARE METRIC AND ARE SHOWN:
NEW SITE ELEVATIONS ARE METRIC AND ARE SHOWN:
PRESSURE TREATED LANDSCAPE RETAINING WALL:

--- Subject Property Line
- - - - - Right of Way Line
..... Eave Line
- - - - - Fence Line
- - - - - Cantilever Line

CONCRETE WALKWAY = 33.54m² or 6.00%
PROPOSED PATIO & STEPS (CONCRETE) = 56.51 m² or 10.12%
20-40mm DECORATIVE LANDSCAPE ROCK = 80.01m² or 14.33%
PROPOSED BUILDINGS = 300.81m² or 53.87%
CONCRETE GARAGE APRON / DRIVEWAY = 7.82 m² or 1.36%

* ALL LANDSCAPING TO BE NEW * FINAL PLANT SELECTION PER DEVELOPER *

SITE AREA = 1910.87 m²
PROPOSED BUILDINGS = 300.81 m²
DRIVEWAY / APRON / WALKWAY = 388.83 m²
TOTAL = 1341.21m² (74.06%)
TOTAL LANDSCAPING = 499.86 m² (25.94%)

NEW TREES:

REQUIREMENTS - 1 TREE PER 10 LINEAR METERS OF LANDSCAPED AREA
TOTAL OF 8 TREES REQUIRED (NOT TO BE PLANTED ALONG RAYMER ROAD FRONTAGE)

MIXTURE OF MIN 50% LARGE TO MAX 20% SMALL TREES
MIXTURE CONIFEROUS & DECIDUOUS TREES
MINIMUM SIZE OF SMALL DECIDUOUS: 5cm
MINIMUM SIZE OF LARGE DECIDUOUS: 5cm
MINIMUM HEIGHT OF CONIFEROUS: 250cm

CONIFEROUS

PONDEROSA PINE UPRIGHT
(PINUS PONDEROSA)
10m X 3m (H x S)

BRISTLECONE PINE
(P. ARABICA)
4m X 2m (H x S)

DECIDUOUS

* NATURE SIZE SHOWN *

WESTERN CHOCHEERRY
(PRUNUS VIRGINIANA)
5m X 4m (H x S)

BUR OAK
(QUERCUS MACROCARPA)
9m X 6m (H x S)

AMUR MAPLE
(ACER GINNALA)
5m X 3m (H x S)

SHRUBS/BUSHES

*SHRUBS MUST BE MIN. HGT OR SPREAD OF 0.6m

TYPE A BUSH-MIXTURE OF COTTON EASTER, SASKATOON & DWARF MUGO PINE

TYPE B BUSH-MIXTURE OF LEAC, CESTRA CHERRY & DWARF MUGO PINE

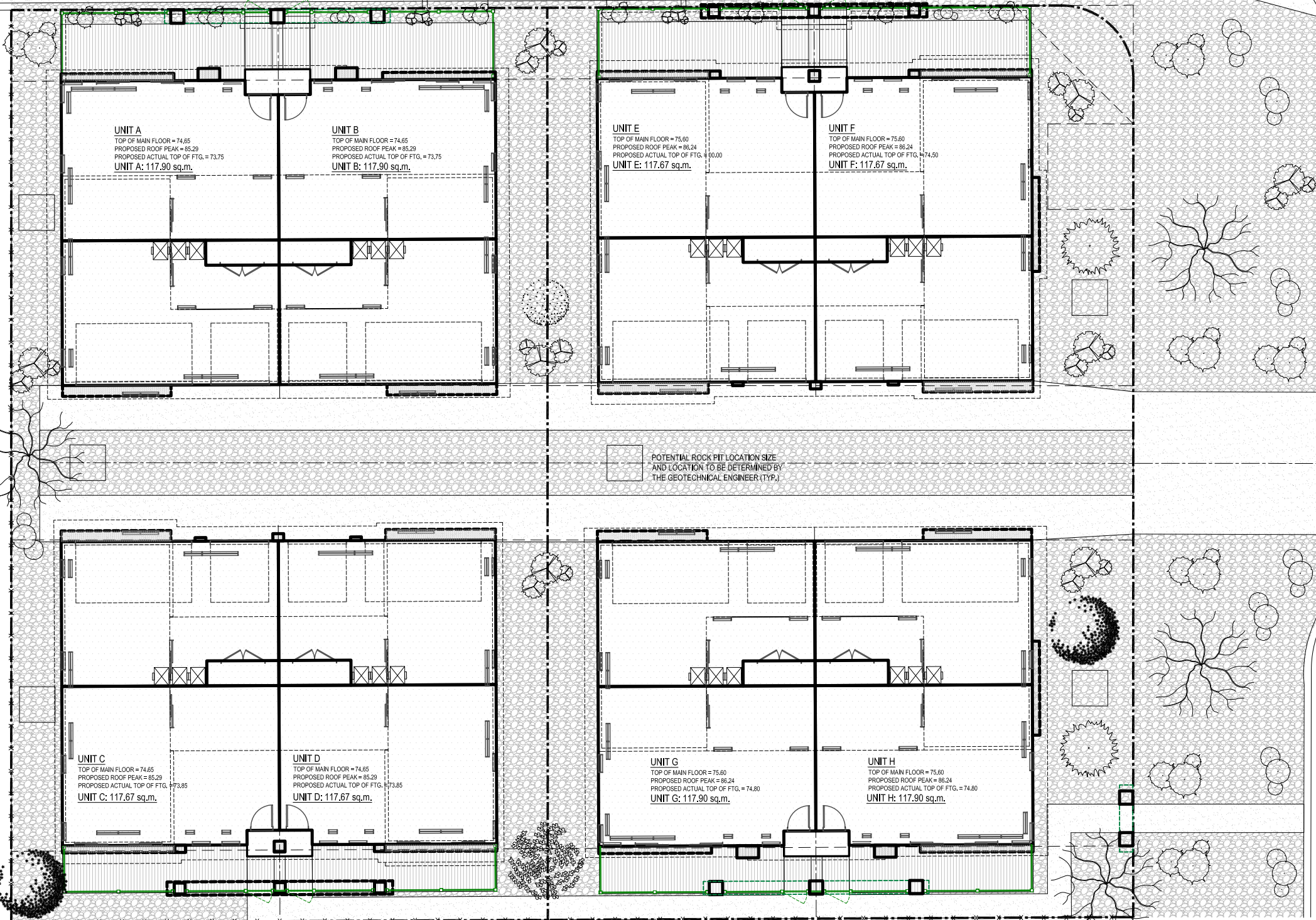
TYPE C BUSH-MIXTURE OF JUMPERS- ALPINE CARPET, BLUE CHRY, OLD GOLD

HORAK ROAD

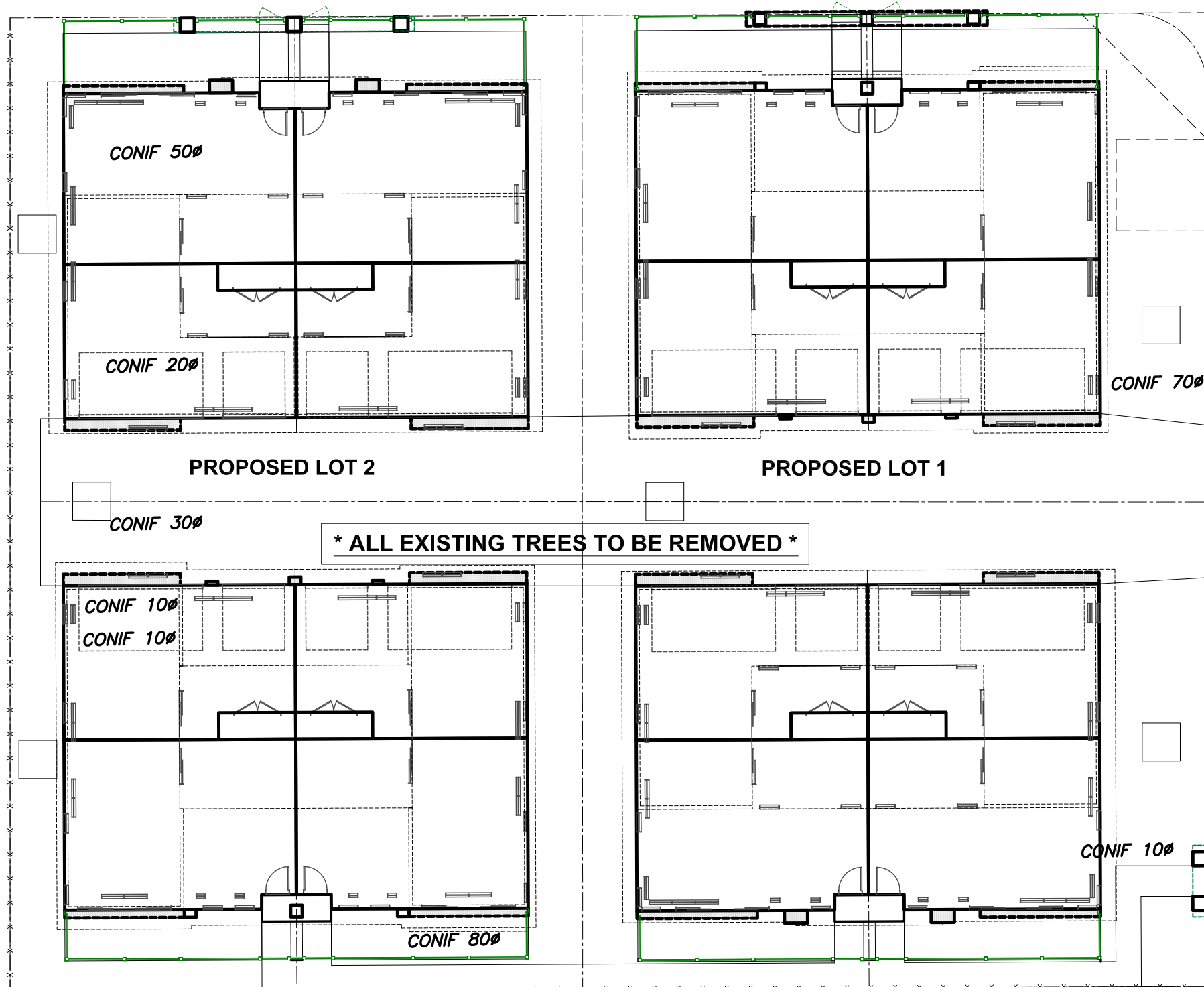
RAYMER ROAD

PROPOSED LOT 2

PROPOSED LOT 1



EXISTING LOT 4510



* ALL EXISTING TREES TO BE REMOVED *

LANDSCAPE PLAN SCALE: 1:200

EXISTING TREE PLAN SCALE: 1:200